

## **BET Budget Meeting**

**February 3, 2022**

### **Greenwich Board of Education Proposed Budget Supporting Documents**

#### **TABLE OF CONTENT**

<b>DOCUMENT</b>	<b>PAGE NUMBER</b>
1. BOE Operating Budget by Major Object Code	1
2. Enrollment and Staffing	5
3. Staffing by School	10
4. ARP and ESSER 2 Grants	61
5. Capital- Status of Pre-FY20 Projects	64
6. Status of State Reimbursements	65
7. Capital- Potential Annual Infrastructure Elimination for Major Projects	66
8. Capital- CMS Engineering Assessment by Diversified Technology Consultants (DTC)	71

**TOWN OF GREENWICH**  
**2022 - 2023 BUDGET**  
**Board of Education**

OBJ CODE	OBJECT DESCRIPTION	2020-2021 ACT		2021-22 BUDGET		2022-23 BUDGET		YTY \$	YTY %	Primary YTY \$ Drivers in Yellow	
										Variance Explanation	
51010	REG SALARIES - NON-CERTIFIED	21,719,302	23,907,517	24,895,062		987,545				Includes non-Certified Cabinet, Clerical/ Assts (GMEA), Prof/Mgr/Staff (LIUNA incl Paras), Security, Mgmt Confidential (M&C), and Cust/Maint (Teamsters)-contractual incr (GWI + Step Movement) - Also includes +2.00 FTE restoration of Custodial support	4.13%
51020	REG SALARIES-TEACHERS/CERTIFIED	100,638,426	103,093,210	105,283,043		2,189,833				Includes Certified Teachers and Administrators - contractual incr (GWI + Step Movement); +5.00 FTE's per SPED Study, -5.00 FTE K-5 Sections, and +5.00 FTE Math Interventionists (ESSER 2 in FY22)	2.12%
51050	LONG TERM SUB FOR LOA	2,875,275	1,581,013	1,581,013		-				0.00% flat	0.00%
51060	REG WAGES - TEACHERS-PD STIPENDS	1,511,623	1,566,525	1,693,616		127,090				8.11% Contractual incr plus 21-22 was underbudgeted	8.11%
51067	REG SALS-TEACHERS-PROF LEARNING	-	14,500	17,000		2,500				17.24%	17.24%
51070	OTHER SALARY - LONGEVITY PAY	230,573	192,430	187,540		(4,890)				-2.54% Lower due to retirements	-2.54%
51090	STANDBY TIME (FACILITIES)	31,981	-	-		-				0.00% flat	0.00%
51100	OVERTIME FOR NON-CERTIFIED	816,237	434,630	434,630		-				0.00% Per bargaining unit agreements	0.00%
51170	PYMTS FOR ACCUM'D VACATION TIME	108,438	45,000	45,000		-				0.00% Per bargaining unit agreements	0.00%
51230	PYMTS FOR ACCUM'D SICK-NON-CERT	98,380	131,000	131,000		-				0.00% flat	0.00%
51240	PYMTS FOR ACCUM'D SICK-CERT	79,930	150,000	150,000		-				0.00% flat	0.00%
51250	PYMTS FOR INJURY LEAVE	19,125	-	-		-				0.00% flat	0.00%
51270	TEACHER EDUC DEVELOPMENT LEAVE	15,610	50,000	50,000		-				0.00% flat	0.00%
51300	TEMPORARY SALARIES	1,655,769	1,594,253	1,594,253		-				0.00% flat	0.00%
51310	TEACHER SUBS-SICK/VAC/LEAVE	1,725,733	1,100,100	1,100,100		-				0.00% flat	0.00%
51317	TEACHER SUBS-PROF LEARNING	28,711	154,700	156,700		2,000				1.29%	1.29%
51360	HOUSING AND VEHICLE ALLOWANCES	49,500	49,500	49,500		-				0.00% Contractual	0.00%
51390	PYMTS FOR TEMP SVC-SPEC PROGRAMS	1,692,654	2,214,391	2,539,674		325,283				FY22 Summer School funded out of RRR (revenue 14.69% actl); Operating to fund \$300K in FY23	14.69%
51397	PAYMENT TEMP SVC SPEC PROJ-PD	130,227	139,131	139,131		-				0.00% Professional Devt	0.00%
51400	PROF SERVICES - ATTORNEYS	156,708	246,300	246,300		-				0.00% Legal Consulting Services	0.00%
51410	PROF & OTHER SVC- AUDIT/ACCTNG	58,700	58,700	58,700		-				0.00% BOE share of external audit Fees	0.00%
51420	PROF SVCS - MEDICAL/DENTAL	1,496,929	1,276,800	1,276,800		-				0.00% Medical/Neuro consulting (SPED)	0.00%
51440	PROF SVC-CONSULT/RESRCH/SURVEY	19,316	21,000	21,000		-				0.00% Transportation Consultant	0.00%
51450	PROF AND OTHER SPEC SRVS-FEES	-	6,750	6,750		-				0.00% flat	0.00%
51460	PROFESSIONAL SERVICES - IT	44,915	157,750	157,750		-				0.00% CyberSecurity Svcs (in Capital in FY21)	0.00%
51490	PROFESSIONAL SERVICES - OTHER	397,444	742,430	772,005		29,575				YTY incr - Local Live for GHS Athletic Events-not budgeted for in 21-22 (\$25K); also incl Curriculum	3.98%

**TOWN OF GREENWICH**  
**2022 - 2023 BUDGET**  
**Board of Education**

OBJ CODE	OBJECT DESCRIPTION	2020-2021 ACT			2021-22 BUDGET		2022-23 BUDGET		YTY \$	YTY %	Primary YTY \$ Drivers in Yellow	
											Variance Explanation	
51497	PROFESSIONAL SERVICES - PD	234,925	271,600	278,100	6,500	2.39%	Curriculum Training for Teachers					
51600	MATCHING FUNDS - 401 (K) PLAN	323,038	316,573	312,237	(4,335)	-1.37%	Per bargaining unit agreements					
51950	MISC. PERSONAL SERVICE - OTHER	195,766	-	-	-							
51970	PRIOR YEAR EXPENDITURES	16,392	-	-	-							
51980	NEW POSITIONS	12,739	245,403	-	(245,403)							
51990	SALARY ADJUSTMENT ACCOUNT	-	(1,521,891)	(1,529,286)	(7,395)	0.49%	Historically, this line was used to budget for unanticipated or hires due to last minute enrollment changes - eliminated per BET 2022-23 budget					
	Total 100's	136,384,364	138,239,315	141,647,619	3,408,303	2.47%	Estimated reduction in budget due to lower backfill savings					
52010	LEGAL ADVERTISING & PUBLIC NOTICE	9,866	30,000	30,000	-	0.00%	Job posting, Public Bids					
52020	PRINTING AND BINDING REPORTS	48,253	104,071	104,071	-	0.00%	FY21 impacted by COVID					
52050	POSTAGE	63,869	67,289	67,289	-	0.00%	flat					
52070	TUITION-NON SPED OUT OF DIST	26,505	54,000	53,000	(1,000)	-1.85%	OOD student courses/fees					
52080	TUITION - SPED PLACEMENTS	4,697,664	4,380,000	4,680,000	300,000	6.85%	Projected SPED Placements based on FY22					
52081	TUITION - SPED SETTLEMENTS	2,476,320	2,920,000	3,120,000	200,000	6.85%	Projected SPED Settlement based on FY22					
52090	TUITION PAYMENTS FOR TOWN EMPL	137,239	295,523	296,423	900	0.30%	Reimbursements for Staff Tuition/Workshops					
52097	TUITION/FEES-PROF LEARNING	50,232	127,812	127,812	-	0.00%	flat					
52100	TRAVEL EXPENSE - EMPLOYEES	-	70,461	70,461	-	0.00%	Out of Town business travel; restored in FY22					
52107	TRAVEL EXP EMPL-PD	32	75,900	75,900	-	0.00%	Travel exps for prof learning					
52110	MILEAGE ALLOWANCE - EMPLOYEES	8,455	63,414	63,414	-	0.00%	Per IRS guidelines					
52117	MILEAGE TOWN EMPL-PD	1,051	19,846	19,846	-	0.00%	Per IRS guidelines					
52120	TRANSPORTATION - PUBLIC/PRIVATE	5,880,773	6,553,246	7,440,909	887,662	13.55%	Transportation 5% Placeholder + \$560K adj - to be allocated to obj code 52130 & 52140					
52130	TRANSPORTATION - ATHL/FIELD TRIPS	202,047	603,067	633,220	30,153	5.00%	Transportation 5% Placeholder					
52140	TRANSPORT-SPED/ESY/ALT HS/PRE-SCHL	2,328,313	3,002,742	3,152,878	150,136	5.00%	Transportation 5% Placeholder					
52150	OFFICE SERVICES	350,963	1,188,404	1,188,404	-	0.00%	flat					
52157	OFFICE SERVICES-PD	1,265	2,050	2,050	-	0.00%	flat					
52210	WATER SERVICE	109,532	135,000	137,700	2,700	2.00%	Per Energy Consultant Guidance					
52220	ELECTRIC SERVICE	2,084,491	2,397,000	2,444,940	47,940	2.00%	Per Energy Consultant Guidance					
52240	TELEPHONE	176,781	205,230	222,230	17,000	8.28%	Reflects going rate on new system					
52261	GAS FOR HEATING	690,126	892,500	910,350	17,850	2.00%	Per Energy Consultant Guidance					
52262	HEATING OIL	29,037	50,000	51,000	1,000	2.00%	Per Energy Consultant Guidance					
52310	RENTAL OF OFFICE EQUIPMENT	162,776	177,520	177,520	-	0.00%	District-wide Copier Lease					
52320	RENTAL OF OTHER EQUIPMENT	137,454	105,275	105,275	-	0.00%	Incl Pitney Bowes Equipment; Airgas					
52340	RENTAL OF BUILDINGS AND OTHER	271,332	315,673	315,673	-	0.00%	Windrose, Hamill Rink, YMCA					
52350	RENTAL - IT EQUIPMENT	50,892	-	-	-		IT Equipment Lease - paid off in FY21					

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OBJ CODE	OBJECT DESCRIPTION	Primary YTY \$ Drivers in Yellow			
		2020-2021 ACT	2021-22 BUDGET	2022-23 BUDGET	Variance Explanation
52360	RENTAL/MAINTENANCE SOFTWARE	1,680,308	1,766,069	1,766,069	0.00% Transportation
52500	CLEANING SERVICES	160,625	165,873	165,873	0.00% Garbage Collection
52520	COLLECTION AND REMOVAL OF RECY	37,171	40,000	40,000	0.00% Recycling fees
52950	MISCELLANEOUS SERVICES	27,460	86,495	86,495	0.00% flat
52970	PRIOR YEAR EXPENDITURE	244,430	-	-	
Total 200's		22,145,259	25,894,460	27,548,802	6.39%
53010	OFFICE SUPPLIES	80,981	129,440	129,440	0.00% flat; FY22 restored
53011	NON-CAPITAL OFFICE EQUIP	31,514	50,580	50,580	0.00% Incl file cabinets, etc
53070	DATA/WORD PROCESSING SUPPLIES	76,074	161,378	161,378	0.00% Computer parts, monitors, hard drives. Memory, etc
53071	NON-CAPITAL IT HARDWARE	429,815	1,809,518	1,809,518	Student/Staff devices
53100	TEACHING SUPPLIES	862,234	1,316,844	1,316,844	0.00% (iPads/Chromebooks/Laptops/Smartboards)
					0.00% flat; FY22 restored
53101	CLASSROOM/TEACHING EQUIPMENT	187,147	406,546	406,546	flat; FY21 low due to P/Y pre-spend; FY22 restoration; incl desks, musical instruments, etc
53110	TEXTBOOKS	848,331	881,800	881,800	GHS Math, MS Lang Arts, MS World Lang (French),
53120	LIBRARY BOOKS	19,715	136,006	136,006	0.00% GHS Social Studies
53140	AUDIO VISUAL MATERIALS	40,430	48,331	48,331	0.00% flat; FY22 restored
53141	AUDIO VISUAL EQUIPMENT	304,466	216,833	216,833	0.00% Smartboard bulbs, voice recorders, etc
53200	RECREATIONAL/ ATHL/PLAYGRND SUPPLIES	164,378	185,739	185,739	0.00% Webcams, etc
53250	MEDICAL/SURGICAL & LABORATORY	9,373	27,045	27,045	0.00% Consumable athletic supplies (GHS/MS)
53300	WEARING APPAREL (INCL MATERIAL	15,549	27,000	27,000	0.00% Nursing supplies
53310	PERSONAL PROTECTIVE EQUIPMENT	14,474	18,000	18,000	0.00% Custodial/Maint uniforms per contract
53350	CUSTODIAN & HOUSEHOLD SUPPLIES	65,534	333,000	233,000	0.00% Non-COVID PPE (mostly for Nursing/Facilities)
53351	NON-CAPITAL CUSTODIAL EQUIPMEN	261,012	22,000	(100,000)	-30.03% After \$100K xfer to Transportation
53500	MOTOR FUEL AND LUBRICANTS	7,670	14,500	(22,000)	-100.00% Sprayers, Scrubbers, etc
53510	PARTS FOR AUTOMOTIVE EQUIPMENT	1,728	10,000	-	0.00% flat
53550	MECHANICAL SUPPLIES AND SMALL	12,228	27,000	-	0.00% flat
53640	ORDNANCE AND CHEMICAL SUPPLIES	8,200	18,000	-	0.00% flat
53700	BUILDING & CONSTRUCT MATERIAL	212,732	269,500	-	0.00% Building maint supplies, etc
53750	HIGHWAY MATERIALS	528	-	-	
53800	BOTANICAL & AGRICULT SUPPLIES	2,022	-	-	
53920	WORK TRANS TO/FROM OTHER DEPT	(84,883)	(160,000)	(160,000)	0.00% flat
53950	SUPPLIES AND MATERIALS - NOC	16,482	-	-	
53970	PRIOR YEAR EXPENDITURE	37,810	-	-	



**TOWN OF GREENWICH**  
**2022 - 2023 BUDGET**  
**Board of Education**

OBJ CODE		2020-2021 ACT				2021-22 BUDGET		2022-23 BUDGET		Primary YTY \$ Drivers in Yellow	
OBJECT DESCRIPTION		3,625,546		5,949,060		5,827,060		YTY \$		Variance Explanation	
Total 300's								(122,000)		-2.05%	
54010	MAINTENANCE OF GENERAL PURPOSE	-	-	-	-	-	-	-	-	0.00% flat	
54050	MAINTENANCE OF BUILD/SUPPLIES	303,913	607,700	607,700	-	-	-	-	-	0.00% Maintenance Agreement (Otis, Champion)	
54060	MAINTENANCE OF ELEVATORS, LOCK	34,905	40,000	40,000	-	-	-	-	-	0.00% Maint of school equipment	
54070	MAINTENANCE OF HVAC SYSTEMS	251,247	315,000	215,000	(100,000)	-31.75% After \$100K xfer to Transportation	-	-	-	0.00% Maint of printers, copiers	
54100	MAINTENANCE OF INSTRUCTIONAL EQ	250,432	426,060	426,060	-	-	-	-	-	0.00% flat	
54150	MAINTENANCE OF FURNITURE, FIXT	29,439	70,450	80,450	10,000	14.19%	-	-	-	0.00% Apple repairs, etc	
54200	MAINTENANCE OF MACHINERY, TOOL	29,011	46,700	46,700	-	-	-	-	-	0.00% flat	
54210	MAINTENANCE - DATA/WORD PROCES	6,113	38,471	38,471	-	-	-	-	-	0.00% flat	
54250	MAINTENANCE OF AUTOMOTIVE EQUI	5,022	10,380	10,380	-	-	-	-	-	0.00% flat	
54950	MAINTENANCE - NOT OTHERWISE CL	41,191	-	-	-	-	-	-	-	0.00% flat	
54970	PRIOR YEAR EXPENDITURE	37,225	-	-	-	-	-	-	-	0.00% flat	
Total 400's		988,498	1,554,761	1,464,761	(90,000)	-5.79%					
57350	SETTLEMENT OF CLAIMS AND JUDGE	-	205,000	205,000	-	0.00%	Legal claims/settlements				
Total 700's		-	205,000	205,000	-	0.00%					
Grand Total		163,143,668	171,842,597	176,693,242	4,850,645	2.82%					

# Elementary Enrollment 2022-2023

## Elementary (K-5 Only)

		K	GR 1	GR 2	GR 3	GR 4	GR 5	TOT
CC	Projected	51	58	41	53	64	63	330
	Projected	51	58	41	53	64	63	330
	Sections	3	3	3	3	3	3	18
	Avg Cls Sz	17.0	19.3	13.7	17.7	21.3	21.0	18.3
GL	Actual	65	63	58	61	65	58	370
	Projected	65	63	58	61	65	58	370
	Sections	4	3	3	4	3	3	20
	Avg Cls Sz	16.3	21.0	19.3	15.3	21.7	19.3	18.5
HA	Actual	29	37	41	39	38	60	244
	Projected	29	37	41	39	38	60	244
	Sections	3	3	2	3	3	3	17
	Avg Cls Sz	9.7	12.3	20.5	13.0	12.7	20.0	14.4
ISD	Actual	57	57	62	62	62	64	364
	Projected	57	57	62	62	62	64	364
	Sections	3	3	3	3	3	3	18
	Avg Cls Sz	19.0	19.0	20.7	20.7	20.7	21.3	20.2
JC	Actual	33	36	42	32	42	45	230
	Projected	33	36	42	32	42	45	230
	Sections	2	3	2	2	3	2	14
	Avg Cls Sz	16.5	12.0	21.0	16.0	14.0	22.5	16.4
NL	Actual	51	49	52	55	35	31	273
	Projected	51	49	52	55	35	31	273
	Sections	3	3	3	2	2	2	15
	Avg Cls Sz	17.0	16.3	17.3	27.5	17.5	15.5	18.2
NM	Actual	86	79	78	83	92	83	501
	Projected	86	79	78	83	92	83	501
	Sections	4	4	4	5	4	4	25
	Avg Cls Sz	21.5	19.8	19.5	16.6	23.0	20.8	20.0
NS	Actual	68	53	43	43	54	58	319
	Projected	68	53	43	43	54	58	319
	Sections	3	3	3	3	3	3	18
	Avg Cls Sz	22.7	17.7	14.3	14.3	18.0	19.3	17.7
OG	Actual	64	56	61	64	60	55	360
	Projected	64	56	61	64	60	55	360
	Sections	3	3	3	3	3	3	18
	Avg Cls Sz	21.3	18.7	20.3	21.3	20.0	18.3	20.0
PK	Actual	27	34	49	39	41	27	217
	Projected	27	34	49	39	41	27	217
	Sections	2	3	2	2	2	2	13
	Avg Cls Sz	13.5	11.3	24.5	19.5	20.5	13.5	16.7
RV	Actual	45	70	72	73	93	65	418
	Projected	45	70	72	73	93	65	418
	Sections	4	4	4	5	3	4	24
	Avg Cls Sz	11.3	17.5	18.0	14.6	31.0	16.3	17.4
K - 5	Actual	576	592	599	604	646	609	3626
	Projected	576	592	599	604	646	609	3626
	Sections	34.0	35.0	32.0	35.0	32.0	32.0	200
	Avg Cls Sz	16.9	16.9	18.7	17.3	20.2	19.0	18.1

XX.X Exceeds Class Size Guidelines for Grade Level  
 XX.X Approaching Class Size Guidelines for Grade Level  
 XX.X Reduce by One Section and Remain Under Guidelin

K & 1st - 21      2nd & 3rd - 24      4th & 5th - 26  
 \*16 for HA

# Elementary Enrollment

October 1, 2021

## Elementary (K-5 Only)

		K	GR 1	GR 2	GR 3	GR 4	GR 5	TOT
CC	Actual	59	44	53	67	64	71	358
	Projected	65	49	53	70	64	70	371
	Sections	3	3	3	3	3	3	18
	Avg Cls Sz	19.7	14.7	17.7	22.3	21.3	23.7	19.9
GL	Actual	64	59	62	64	60	68	377
	Projected	60	54	63	65	65	69	376
	Sections	4	3	3	4	3	3	20
	Avg Cls Sz	16.0	19.7	20.7	16.0	20.0	22.7	18.9
HA	Actual	38	41	40	39	59	55	272
	Projected	54	42	36	55	58	59	304
	Sections	3	3	2	3	3	3	17
	Avg Cls Sz	12.7	13.7	20.0	13.0	19.7	18.3	16.0
ISD	Actual	55	55	51	53	66	63	343
	Projected	55	56	54	59	70	65	359
	Sections	3	3	3	3	3	3	18
	Avg Cls Sz	18.3	18.3	17.0	17.7	22.0	21.0	19.1
JC	Actual	36	45	35	43	45	38	242
	Projected	37	47	39	43	44	43	253
	Sections	2	3	2	2	3	2	14
	Avg Cls Sz	18.0	15.0	17.5	21.5	15.0	19.0	17.3
NL	Actual	53	52	54	38	30	42	269
	Projected	53	50	51	37	31	39	261
	Sections	3	3	3	2	2	2	15
	Avg Cls Sz	17.7	17.3	18.0	19.0	15.0	21.0	17.9
NM	Actual	76	76	87	92	83	83	497
	Projected	70	78	74	100	78	90	490
	Sections	4	4	4	5	4	4	25
	Avg Cls Sz	19.0	19.0	21.8	18.4	20.8	20.8	19.9
NS	Actual	56	42	45	55	59	60	317
	Projected	57	45	49	54	69	58	332
	Sections	3	3	3	3	3	3	18
	Avg Cls Sz	18.7	14.0	15.0	18.3	19.7	20.0	17.6
OG	Actual	57	59	65	60	56	65	362
	Projected	61	53	61	56	55	61	347
	Sections	3	3	3	3	3	3	18
	Avg Cls Sz	19.0	19.7	21.7	20.0	18.7	21.7	20.1
PK	Actual	33	49	40	41	30	24	217
	Projected	46	43	38	41	27	31	226
	Sections	2	3	2	2	2	2	13
	Avg Cls Sz	16.5	16.3	20.0	20.5	15.0	12.0	16.7
RV	Actual	64	71	73	95	67	86	456
	Projected	64	67	77	81	64	91	444
	Sections	4	4	4	5	3	4	24
	Avg Cls Sz	16.0	17.8	18.3	19.0	22.3	21.5	19.0
K - 5	Actual	591	593	605	647	619	655	3710
	Projected	622	584	595	661	625	676	3763
	Sections	34.0	35.0	32.0	35.0	32.0	32.0	200
	Avg Cls Sz	17.4	16.9	18.9	18.5	19.3	20.5	18.6

XX.X Exceeds Class Size Guidelines for Grade Level

XX.X Approaching Class Size Guidelines for Grade Level

XX.X Reduce by One Section and Remain Under Guideline

K & 1st - 21      2nd & 3rd - 24      4th & 5th - 26  
 \*16 for HA

**Elementary Specials (22 classes max allowable per teacher)**

ELL		<b>Same total each year (based on 3-yr comparison); Program Coordinator may reorganize staff based on need.</b>	
	Elem	12.3	
	MS	3.7	
	HS	4.0	
FLES		<b>depends upon number of sections in 3rd, 4th, and 5th grade; original formula 0.1 / section (3-5)</b>	
Magnet exceptions:		HA	
		NL	
		JC	
		ISD	
ALP		<b>Same total fte year after year (19.0)</b>	
	Elem	1.7	per building
Art		<b>#sections / 22 (+round up); no travel for 0.1 fte</b>	
PreK exception:		HA	
Music		<b>#section plus 1 / 22 (+round up)</b>	
		strings and band are same year after year; unless enrollment in specific program drastically increases/decreases	
PE		<b>#sections x 2 / 22 (+round up)</b>	
PreK exception:		HA	0.3
Reading		<b>Same total fte year after year; Program Coordinator may reorganize staff based on need</b>	
	Elem	16.0	
	MS	4.2	
	HS	2.0	

## Greenwich Public Schools Special Education Staffing

### Guidelines:

Working Draft (February 2022)

### Special Education Teacher

#### ***Caseload Targets:***

Preschool: 15:1

Elementary: 15:1

Middle: 18:1

High: 22:1

Community Connection/ Transition 15:1

#### ***Special Education student to teacher ratios:***

Co-teaching elementary - 5 SWD (plus the general education students)

Co-teaching Middle and High School – no more than 45%, ideally at 33%

Unique Learner program – 12:1

***\*Additional certified and/or non-certified staff may be provided as determined appropriate by the PPT.***

#### Preschool:

Each preschool classroom will be staffed with 1.0 FTE special education teacher and 1.7 FTE paraprofessionals for 15 students. This includes 9 general education students and 6 special education students.

### Elementary School: CONSIDERATIONS

#### Level 1:

Students up to 10 hours per week with a special education teacher AND above 60% Time With Nondisabled Peers (TWNDP) *\*Example: Students with disabilities who receive a combination of special education instruction within the general education and resource room/learning center, and/or co-taught classroom setting. Students receive accommodations through their IEP in order to access the general education curriculum.*

#### Level 2:

Students with 10.01-20.00 hours per week with a special education teacher AND between 40%-60% Time With Nondisabled Peers (TWNDPs)

*\*Example: Students with disabilities who receive a combination of special education instruction within the general education and resource room/learning center and/or co-taught classroom setting. Students receive accommodations through their IEP in order to access the general education curriculum. Students may also require additional adult support in specific areas to support implementation of their IEP. The LRE checklist must be completed for these students.*



Level 3:

Students with more than 20 hours per week with a special education teacher AND less than 40% Time With Nondisabled Peers (TWNDP)

*\*Examples: Students with disabilities who receive special education support throughout the school day and require additional adult support to address global deficits. Students may require modified curriculum. These students may also require specialized behavior intervention plans as well as intensive support to address significant social and emotional needs. These students likely will receive support within a Complex Learner Cohort (CLC) or Complex Learner Cohort Social Emotional (CLC-S) setting. The LRE checklist must be completed for these students.*

DRAFT

# Greenwich High School Roster

2/1/2022

Bargaining Unit	Job Title	FTE or work hrs	NOTES
GEA	Teacher American Sign Language	1.00	
GEA	Teacher ASL LTS	.80	
GEA	Teacher Art	1.00	
GEA	Teacher Art	1.00	
GEA	Teacher Art	1.00	
GEA	Teacher Art	1.00	
GEA	Teacher Art	1.00	
GEA	Teacher Art	.80	
GEA	Teacher Art	1.00	
GEA	Teacher Assistant Dean	1.00	
GEA	Teacher Assistant Dean	1.00	
GEA	Teacher Assistant Dean	1.00	
GEA	Teacher Assistant Dean	1.00	
GEA	Teacher Assistant Dean	1.00	
GEA	Teacher AVID	.20	
GEA	Teacher AVID	.20	
GEA	Teacher AVID	.20	
GEA	Teacher AVID	.20	
GEA	Teacher AVID	.20	
GEA	Teacher AVID	.20	
GEA	Teacher AVID	.20	
GEA	Teacher AVID	.20	
GEA	Teacher Biology	1.20	
GEA	Teacher Biology	.50	
GEA	Teacher Biology	1.00	
GEA	Teacher Biology	1.00	
GEA	Teacher Biology	1.00	
GEA	Teacher Biology	1.20	
GEA	Teacher Biology	1.00	
GEA	Teacher Biology	1.00	
GEA	Teacher Biology	1.00	
GEA	Teacher Biology	1.00	
GEA	Teacher Biology	1.00	
GEA	Teacher Biology	1.00	
GEA	Teacher Biology	1.00	
GEA	Teacher Biology	1.00	
GEA	Teacher Biology LTS	1.00	
GEA	Teacher Business	1.00	
GEA	Teacher Business	.70	
GEA	Teacher Business	.80	
GEA	Teacher Business	1.00	
GEA	Teacher Chemistry	1.00	
GEA	Teacher Chemistry	1.00	
GEA	Teacher Chemistry	1.00	
GEA	Teacher Chemistry	1.00	

# Greenwich High School Roster

2/1/2022

Bargaining Unit	Job Title	FTE or work hrs	NOTES
GEA	Teacher Chemistry	1.00	
GEA	Teacher Chemistry	1.00	
GEA	Teacher Chemistry	1.00	
GEA	Teacher Chemistry	1.00	
GEA	Teacher Chemistry	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English	.80	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English	.80	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English	.70	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English	.20	
GEA	Teacher English	.40	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English	.80	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English	.70	
GEA	Teacher English	.80	
GEA	Teacher English	.80	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English Lang Learners	1.00	
GEA	Teacher English Lang Learners	1.00	
GEA	Teacher English Lang Learners	1.00	
GEA	Teacher English Second Lan LTS	1.00	
GEA	Teacher Family Consumer Scienc	.40	
GEA	Teacher Family Consumer Scienc	1.00	
GEA	Teacher Family Consumer Scienc	1.00	
GEA	Teacher French	.40	

# Greenwich High School Roster

2/1/2022

Bargaining Unit	Job Title	FTE or work hrs	NOTES
GEA	Teacher French	1.00	
GEA	Teacher French	1.00	
GEA	Teacher French	1.00	
GEA	Teacher General Science	1.20	
GEA	Teacher German	1.00	
GEA	Teacher Guidance	1.00	
GEA	Teacher Guidance	1.00	
GEA	Teacher Guidance	1.00	
GEA	Teacher Guidance	1.00	
GEA	Teacher Guidance	1.00	
GEA	Teacher Guidance	1.00	
GEA	Teacher Guidance	1.00	
GEA	Teacher Guidance	1.00	
GEA	Teacher Guidance	1.00	
GEA	Teacher Guidance	1.00	
GEA	Teacher Guidance	1.00	
GEA	Teacher Guidance	1.00	
GEA	Teacher Guidance	1.00	
GEA	Teacher Guidance	1.00	
GEA	Teacher Guidance	1.00	
GEA	Teacher Guidance	1.00	
GEA	Teacher Guidance	1.00	
GEA	Teacher Guidance	1.00	
GEA	Teacher Guidance	1.00	
GEA	Teacher Guidance LTS	1.00	
GEA	Teacher Health	.20	
GEA	Teacher Health	.20	
GEA	Teacher Health	.20	
GEA	Teacher Health	.20	
GEA	Teacher Health	.20	
GEA	Teacher Health	.20	
GEA	Teacher Health	.20	
GEA	Teacher Health	.20	
GEA	Teacher Health	1.05	
GEA	Teacher Italian	.60	
GEA	Teacher Italian	.80	
GEA	Teacher Italian LTS	1.00	
GEA	Teacher Latin	1.00	
GEA	Teacher Literacy Specialist	1.00	
GEA	Teacher Literacy Specialist	1.00	
GEA	Teacher Literacy Specialist	1.00	
GEA	Teacher Mandarin Chinese	.60	
GEA	Teacher Mandarin Chinese	.80	
GEA	Teacher Mathematics	1.00	
GEA	Teacher Mathematics	1.00	
GEA	Teacher Mathematics	.60	
GEA	Teacher Mathematics	1.00	
GEA	Teacher Mathematics	.90	
GEA	Teacher Mathematics	1.00	

# Greenwich High School Roster

2/1/2022

Bargaining Unit	Job Title	FTE or work hrs	NOTES
GEA	Teacher Mathematics	1.00	
GEA	Teacher Mathematics	.60	
GEA	Teacher Mathematics	.90	
GEA	Teacher Mathematics	1.00	
GEA	Teacher Mathematics	1.00	
GEA	Teacher Mathematics	.80	
GEA	Teacher Mathematics	1.00	
GEA	Teacher Mathematics	1.00	
GEA	Teacher Mathematics	1.00	
GEA	Teacher Mathematics	1.00	
GEA	Teacher Mathematics	.80	
GEA	Teacher Mathematics	1.00	
GEA	Teacher Mathematics	1.00	
GEA	Teacher Mathematics	1.00	
GEA	Teacher Mathematics	1.00	
GEA	Teacher Mathematics	.80	
GEA	Teacher Mathematics	1.00	
GEA	Teacher Mathematics	1.00	
GEA	Teacher Mathematics	1.00	
GEA	Teacher Mathematics	1.00	
GEA	Teacher Mathematics	1.00	
GEA	Teacher Mathematics LTS	1.00	
GEA	Teacher Media	1.00	
GEA	Teacher Media	1.00	
GEA	Teacher Media	1.00	
GEA	Teacher Media	1.10	
GEA	Teacher Music - Band	1.00	
GEA	Teacher Music - Electronic	1.00	
GEA	Teacher Music - Orchestra	1.00	
GEA	Teacher Music - Band	1.00	
GEA	Teacher Music - Choral	1.00	
GEA	Teacher Physical Education	.85	
GEA	Teacher Physical Education	.80	
GEA	Teacher Physical Education	.80	
GEA	Teacher Physical Education	.85	
GEA	Teacher Physical Education	.80	
GEA	Teacher Physical Education	1.00	
GEA	Teacher Physical Education	.85	
GEA	Teacher Physical Education	.80	
GEA	Teacher Physical Education	.60	
GEA	Teacher Physics	1.00	
GEA	Teacher Physics	1.00	
GEA	Teacher Physics	1.00	
GEA	Teacher Physics	1.00	
GEA	Teacher Physics	1.00	



# Greenwich High School Roster

2/1/2022

Bargaining Unit	Job Title	FTE or work hrs	NOTES
GEA	Teacher Physics	.80	
GEA	Teacher Physics	1.20	
GEA	Teacher Psychologist	1.00	
GEA	Teacher Psychologist	1.00	
GEA	Teacher Psychologist	1.00	
GEA	Teacher Psychologist	1.00	
GEA	Teacher Psychologist	1.00	
GEA	Teacher Psychologist	1.00	
GEA	Teacher Psychologist	1.00	
GEA	Teacher Social Studies	.80	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	.70	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	.80	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	.60	
GEA	Teacher Social Studies	.80	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	.90	
GEA	Teacher Social Studies	.80	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Worker	1.00	
GEA	Teacher Social Worker	1.00	
GEA	Teacher Social Worker	1.00	
GEA	Teacher Social Worker	1.00	
GEA	Teacher Social Worker	.90	
GEA	Teacher Social Worker	1.00	

# Greenwich High School Roster

2/1/2022

Bargaining Unit	Job Title	FTE or work hrs	NOTES
GEA	Teacher Spanish	1.00	
GEA	Teacher Spanish	1.00	
GEA	Teacher Spanish	.80	
GEA	Teacher Spanish	1.00	
GEA	Teacher Spanish	1.00	
GEA	Teacher Spanish	1.00	
GEA	Teacher Spanish	1.00	
GEA	Teacher Spanish	1.00	
GEA	Teacher Spanish	1.20	
GEA	Teacher Spanish	.80	
GEA	Teacher Spanish	1.00	
GEA	Teacher Spanish	1.00	
GEA	Teacher Spanish	.80	
GEA	Teacher Sped	1.00	IDEA
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	IDEA
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	IDEA
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	IDEA
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	IDEA
GEA	Teacher Sped	1.00	IDEA
GEA	Teacher Sped	1.00	
GEA	Teacher Sped - Community Connections	1.00	Located at Milbank on JC property
GEA	Teacher Sped - Community Connections	1.00	IDEA / Located at Milbank on JC property
GEA	Teacher Sped LTS	1.00	
GEA	Teacher Sped LTS	1.00	IDEA
GEA	Teacher Speech	1.00	
GEA	Teacher Speech	1.00	
GEA	Teacher Speech	1.00	
GEA	Teacher Staff Development	.10	
GEA	Teacher Staff Development	.30	
GEA	Teacher Staff Development	.10	
GEA	Teacher Staff Development	.20	

# Greenwich High School Roster

2/1/2022

Bargaining Unit	Job Title	FTE or work hrs	NOTES
GEA	Teacher Staff Development	.20	
GEA	Teacher Staff Development	.20	
GEA	Teacher Staff Development	.20	
GEA	Teacher Staff Development	.20	
GEA	Teacher Student Activities	1.00	
GEA	Teacher Technology Education	1.00	
GEA	Teacher Technology Education	1.00	
GEA	Teacher Technology Education	1.00	
GEA	Teacher Technology Education	1.00	
GEA	Teacher Theater Arts	.80	
GEA	Teacher Theater Arts	.60	
GMEA	Admin Asst Bilingual	1.00	
GMEA	Admin Staff Assistant 1	25 hrs/wk	
GMEA	Admin Staff Assistant 1	20 hrs/wk	
GMEA	Admin Staff Assistant 2	1.00	
GMEA	Admin Staff Assistant 2	1.00	
GMEA	Admin Staff Assistant 2	1.00	
GMEA	Admin Staff Assistant 2	1.00	
GMEA	Admin Staff Assistant 2	1.00	
GMEA	Administrative Asst - School	1.00	
GMEA	Administrative Asst - School	1.00	
GMEA	Administrative Asst - School	1.00	
GMEA	Administrative Asst - School	1.00	
GMEA	Administrative Asst - School	1.00	
GMEA	Administrative Asst - School	1.00	
GMEA	Administrative Asst - School	1.00	
GMEA	Administrative Asst - School	1.00	
GMEA	Administrative Asst - School	1.00	
GMEA	Administrative Asst - School	1.00	
GMEA	Administrative Asst - School	1.00	
GMEA	Administrative Asst - School	1.00	
GMEA	Administrative Asst - School	1.00	
GMEA	Administrative Asst - School	1.00	
GMEA	Administrative Asst - School	1.00	
GMEA	Administrative Asst - School	1.00	
GMEA	Administrative Asst - School	1.00	
GMEA	Administrative Asst - School	1.00	
GMEA	Asst to the Principal GHS	1.00	
GMEA	IT Support Technician	1.00	
GMEA	IT Support Technician	1.00	
GMEA	Media Assistant	1.00	
GMEA	Media Assistant	1.00	
GMEA	Production Technician Theater	1.00	
GMEA	PT School Health Ser. Clerk	25 hrs/wk	

# Greenwich High School Roster

2/1/2022

Bargaining Unit	Job Title	FTE or work hrs	NOTES
non-rep	Cook 1 Sub (Per Diem)	15.00	
GMEA	Cook 1 - Schools	23.75 hrs/wk	
GMEA	Cook 1 - Schools	23.75 hrs/wk	
GMEA	Cook 2 - Schools	1.00	
GMEA	Cook 2 - Schools	1.00	
GMEA	Cook 2 - Schools	1.00	
GMEA	Cook 2 - Schools	1.00	
GMEA	Food Production Coordinator	1.00	
GMEA	Food Service Worker	27.5 hrs/wk	
GMEA	Food Service Worker	27.5 hrs/wk	
GMEA	Food Service Worker	27.5 hrs/wk	
GMEA	Food Service Worker	27.5 hrs/wk	
GMEA	Food Service Worker	27.5 hrs/wk	
GMEA	Food Service Worker	27.5 hrs/wk	
GMEA	Food Service Worker	27.5 hrs/wk	
GMEA	Food Service Worker	27.5 hrs/wk	
GMEA	Food Service Worker	25 hrs/wk	
GMEA	Food Service Worker	27.5 hrs/wk	
GMEA	Food Service Worker	27.5 hrs/wk	
GMEA	Food Service Worker	27.5 hrs/wk	
GMEA	Food Service Worker	27.5 hrs/wk	
GMEA	Food Service Worker	27.5 hrs/wk	
GMEA	Food Service Worker	27.5 hrs/wk	
GMEA	Food Service Worker	27.5 hrs/wk	
GMEA	Food Service Worker	27.5 hrs/wk	
GOSA	Athletics Director	1.00	
GOSA	Dean of Students	1.00	
GOSA	High School Principal	1.00	
GOSA	House Administrator	1.00	
GOSA	House Administrator	1.00	
GOSA	House Administrator	1.00	
GOSA	House Administrator	1.00	
GOSA	House Administrator	1.00	
GOSA	HS Vice Principal	1.00	
GOSA	Program Administrator	1.00	
GOSA	Program Coordinator	.50	
GOSA	Program Coordinator	.50	
GOSA	Program Coordinator - AVID	.20	
GOSA	Program Coordinator - Guidance	.80	
LIUNA	Information Sys.Analyst-BOE	1.00	

# Greenwich High School Roster

2/1/2022

Bargaining Unit	Job Title	FTE or work hrs	NOTES
LIUNA	IT Systems Administrator	1.00	
LIUNA	Sr Network Specialist BOE	1.00	
non-rep	Professional Temp	35 hrs/wks	
LIUNA B	Professional Assistant ELL	1.00	
LIUNA B	Professional Assistant School	1.00	
LIUNA B	Professional Assistant School	1.00	
LIUNA B	Professional Assistant School	1.00	
LIUNA B	Professional Assistant School	1.00	
LIUNA B	Professional Assistant School	1.00	
LIUNA B	Professional Assistant School	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
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LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped - Community Connections	1.00	Located at Milbank on JC property
LIUNA B	Professional Assistant Sped - Community Connections	1.00	Located at Milbank on JC property
LIUNA B	Professional Assistant Sped - Community Connections	1.00	Located at Milbank on JC property
LIUNA B	Professional Assistant Sped - Community Connections	1.00	Located at Milbank on JC property
LIUNA B	Security Personnel	1.00	
LIUNA B	Security Personnel	1.00	
LIUNA B	Security Personnel	1.00	
LIUNA B	Security Personnel	1.00	



## Greenwich High School Roster

2/1/2022

Bargaining Unit	Job Title	FTE or work hrs	NOTES
LIUNA B	Security Personnel	1.00	
LIUNA B	Security Personnel	1.00	
LIUNA B	Security Personnel	1.00	
LIUNA B	Security Personnel	1.00	
LIUNA B	Security Personnel	1.00	
LIUNA B	Senior Security Personnel	1.00	
non-rep	BOE PT Lifeguard	30 hrs/wk	
non-rep	Custodial/Maintenance Temp	35 hrs/wk	
non-rep	Technical Temp	25 hrs/wk	
TEAMSTERS	Building Maintenance Mechanic	1.00	
TEAMSTERS	Building Maintenance Mechanic	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Head Custodian High Sch	1.00	
TEAMSTERS	Head Custodian High Sch	1.00	
TEAMSTERS	Lead HVAC Repair/Main Mechanic	1.00	
TEAMSTERS	Warehouse Worker	1.00	
TEAMSTERS	Warehouse Worker	1.00	
TEAMSTERS	Warehouse Worker PT	25 hrs/wk	
UPSEU	Phn 1 10 Month School Nurse	1.00	
UPSEU	Phn 1 10 Month School Nurse	1.00	
UPSEU	Phn 1 10 Month School Nurse	1.00	
GEA	Teacher Art	.20	Windrose

# Greenwich High School Roster

2/1/2022

Bargaining Unit	Job Title	FTE or work hrs	NOTES
GEA	Teacher English	1.00	Windrose
GEA	Teacher General Science LTS	.60	Windrose
GEA	Teacher Guidance	1.00	Windrose
GEA	Teacher Mathematics	1.00	Windrose
GEA	Teacher Physical Education	.20	Windrose
GEA	Teacher Social Studies	.50	Windrose
GEA	Teacher Social Worker	.50	Windrose
GEA	Teacher Spanish	.20	Windrose
GEA	Teacher Sped	.50	IDEA / Windrose
GMEA	Administrative Asst - School	1.00	Windrose
GOSA	Program Administrator	1.00	Windrose
non-rep	BOE PT Lifeguard	temp / seasonal	Athletics
non-rep	BOE PT Lifeguard	temp / seasonal	Athletics
non-rep	BOE PT Lifeguard	temp / seasonal	Athletics
non-rep	BOE PT Lifeguard	temp / seasonal	Athletics
non-rep	BOE PT Lifeguard	temp / seasonal	Athletics
non-rep	Intramurals Official - BOE	temp / seasonal	Athletics
non-rep	Sports Official - BOE	temp / seasonal	Athletics
non-rep	Sports Official - BOE	temp / seasonal	Athletics
non-rep	Temp School Aide	15 hrs/wk	Work Study
non-rep	Temp School Aide	15 hrs/wk	Work Study
non-rep	Temp School Aide	15 hrs/wk	Work Study
non-rep	Temp School Aide	15 hrs/wk	Work Study
non-rep	Temp School Aide	15 hrs/wk	Work Study
non-rep	Temp School Aide	15 hrs/wk	Work Study
non-rep	Temp School Aide	15 hrs/wk	Work Study
non-rep	Temp School Aide	15 hrs/wk	Work Study
non-rep	Temp School Aide	15 hrs/wk	Work Study

# Central Middle School Roster

2/1/2022

Bargaining Unit	Job Title	FTE or work hrs	NOTES
GEA	Teacher Advanced Learning Prog	.60	
GEA	Teacher Art	1.00	
GEA	Teacher AVID	.10	
GEA	Teacher English	1.00	
GEA	Teacher English	.40	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English	.90	
GEA	Teacher English	1.00	
GEA	Teacher English	.40	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English Lang Learners	1.00	
GEA	Teacher Family Consumer Scienc	1.00	
GEA	Teacher French	.60	
GEA	Teacher French	.40	HR Added position due to enrollment
GEA	Teacher French	1.00	
GEA	Teacher General Science	1.00	
GEA	Teacher General Science	1.00	
GEA	Teacher General Science	1.00	
GEA	Teacher General Science	1.00	
GEA	Teacher General Science	1.00	
GEA	Teacher General Science	1.00	
GEA	Teacher Guidance	1.00	
GEA	Teacher Guidance	1.00	
GEA	Teacher Guidance	1.00	
GEA	Teacher Literacy Specialist	1.00	
GEA	Teacher Literacy Specialist	.60	
GEA	Teacher Mathematics	.60	
GEA	Teacher AVID	.40	
GEA	Teacher Mathematics	1.00	
GEA	Teacher Mathematics	1.00	
GEA	Teacher Mathematics	1.00	
GEA	Teacher Mathematics	1.00	
GEA	Teacher Mathematics	1.00	
GEA	Teacher Mathematics	1.00	
GEA	Teacher Media	1.00	
GEA	Teacher Media	1.00	
GEA	Teacher Music - Core	1.00	
GEA	Teacher Music - Strings	1.00	
GEA	Teacher Music - Band	1.00	
GEA	Teacher Physical Education	1.00	
GEA	Teacher Physical Education	.60	
GEA	Teacher Health	.40	

# Central Middle School Roster

2/1/2022

Bargaining Unit	Job Title	FTE or work hrs	NOTES
GEA	Teacher Physical Education	1.00	
GEA	Teacher Psychologist	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Worker	1.00	
GEA	Teacher Spanish	1.00	
GEA	Teacher Spanish	1.00	
GEA	Teacher Spanish	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	IDEA
GEA	Teacher Sped	1.00	IDEA
GEA	Teacher Sped	1.00	IDEA
GEA	Teacher Sped LTS	1.00	ARP
GEA	Teacher Speech	1.00	
GEA	Teacher STF Development Coach	1.00	HAV District Teacher office located at CMS
GEA	Teacher Technology Education	1.00	
GMEA	Food Service Worker	22.5 hrs/wk	
GMEA	Food Service Worker	23.75 hrs/wk	
GMEA	Food Service Worker	27.5 hrs/wk	
GMEA	Cook 1 - Schools	28.75 hrs/wk	
GMEA	Admin Staff Assistant 2 (11 mo)	1.00	
GMEA	Admin Staff Assistant 2 (187 days)	1.00	
GMEA	Administrative Asst - School (12 mo)	1.00	
GMEA	IT Support Technician (209 days)	1.00	
GMEA	Admin Staff Assistant 2 (187 days)	25 hrs/wk	
GMEA	Media Assistant (209 days)	1.00	
GMEA	School Health Service Clerk	12 hrs/wk	currently filled by Temp from agency (Robert Half International)
GOSA	Asst Principal Middle School	1.00	
GOSA	Asst Principal Middle School	1.00	
GOSA	Middle School Principal	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	

# Central Middle School Roster

2/1/2022

Bargaining Unit	Job Title	FTE or work hrs	NOTES
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	.50	
LIUNA B	Professional Assistant ELL	.50	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Head Custodian Middle-CC	1.00	
TEAMSTERS	Lead Custodian Middle School	1.00	
non-rep	Custodial/Maintenance Temp	35 hrs/wk	ARP
non-rep	Custodial/Maintenance Temp	35 hrs/wk	ARP
UPSEU	Phn 1 10 Month School Nurse	1.00	



# Eastern Middle School Roster

2/1/2022

Bargaining Unit	Job Title	FTE or work hrs	NOTES
GEA	Teacher Advanced Learning Prog	.70	
GEA	Teacher Art	1.00	
GEA	Teacher Art	1.00	
GEA	Teacher Assistant Dean	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English	.80	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English	.30	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English Lang Learners	1.00	
GEA	Teacher English LTS	.50	ARP (2021-22 school year only)
GEA	Teacher Family Consumer Scienc	1.00	
GEA	Teacher French	.40	
GEA	Teacher French	1.00	
GEA	Teacher General Science	1.00	
GEA	Teacher General Science	1.00	
GEA	Teacher General Science	1.00	
GEA	Teacher General Science	1.00	
GEA	Teacher General Science	1.00	
GEA	Teacher General Science	1.00	
GEA	Teacher General Science	.60	
GEA	Teacher General Science	1.00	
GEA	Teacher General Science	1.00	
GEA	Teacher Guidance	1.00	
GEA	Teacher Guidance	1.00	
GEA	Teacher Guidance	1.00	
GEA	Teacher Guidance	1.00	
GEA	Teacher Health	1.00	
GEA	Teacher Health	1.00	
GEA	Teacher Literacy Specialist	1.00	
GEA	Teacher Mathematics	1.00	
GEA	Teacher Mathematics	1.00	
GEA	Teacher Mathematics	1.00	

# Eastern Middle School Roster

2/1/2022

Bargaining Unit	Job Title	FTE or work hrs	NOTES
GEA	Teacher Mathematics	.40	
GEA	Teacher Mathematics	1.00	
GEA	Teacher Mathematics	1.00	
GEA	Teacher Mathematics	1.00	
GEA	Teacher Mathematics	1.00	
GEA	Teacher Mathematics	1.00	
GEA	Teacher Media	1.00	
GEA	Teacher Music - Band	1.00	
GEA	Teacher Music - Core	.20	
GEA	Teacher Music - Core	.80	re-purposed funds from Media
GEA	Teacher Music - Core	1.00	
GEA	Teacher Music - Strings	.90	
GEA	Teacher Music - Strings	.10	re-purposed funds from Media
GEA	Teacher Physical Education	1.00	
GEA	Teacher Physical Education	1.00	
GEA	Teacher Physical Education	1.00	
GEA	Teacher Psychologist	1.00	
GEA	Teacher Psychologist	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Worker	1.00	
GEA	Teacher Spanish	.80	
GEA	Teacher Spanish	.10	re-purposed funds from Media
GEA	Teacher Spanish	1.00	
GEA	Teacher Spanish	1.00	
GEA	Teacher Spanish	1.00	
GEA	Teacher Spanish	.60	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	IDEA
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Speech	.50	ARP

**Eastern Middle School Roster**

2/1/2022

<b>Bargaining Unit</b>	<b>Job Title</b>	<b>FTE or work hrs</b>	<b>NOTES</b>
GEA	Teacher Speech	1.00	
GEA	Teacher STF Development Coach	1.00	HAV District Teacher office located at EMS
GEA	Teacher Technology Education	1.00	
GMEA	Admin Staff Assistant 2	1.00	
GMEA	Admin Staff Assistant 2	1.00	
GMEA	Admin Staff Assistant 2	1.00	
GMEA	Administrative Asst - School	1.00	
GMEA	Cook 1 - Schools	28.75 hrs/wk	
GMEA	Food Service Worker	27.5 hrs/wk	
GMEA	Food Service Worker	27.5 hrs/wk	
GMEA	Food Service Worker	23.75 hrs/wk	
GMEA	Food Service Worker	27.5 hrs/wk	
GMEA	IT Support Technician	1.00	
GMEA	Media Assistant	1.00	
GMEA	School Health Service Clerk	17.5 hrs/wk	HAV District Employee - currently shared between EMS and WMS
GOSA	Asst Principal Middle School	1.00	
GOSA	Asst Principal Middle School	1.00	
GOSA	Middle School Principal	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Head Custodian Middle-CC	1.00	
TEAMSTERS	Lead Custodian Middle School	1.00	
UPSEU	Phn 1 10 Month School Nurse	1.00	

# Western Middle School Roster

2/1/2022

Bargaining Unit	Job Title	FTE or work hrs	NOTES
GEA	Teacher Advanced Learning Prog	.10	
GEA	Teacher Advanced Learning Prog	.30	
GEA	Teacher Art	1.00	
GEA	Teacher AVID	.20	
GEA	Teacher AVID	.20	
GEA	Teacher AVID	.20	Title I
GEA	Teacher AVID	.20	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English	.80	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English	.90	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English	.40	
GEA	Teacher English	.40	re-purposed funds from Media
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English	1.00	
GEA	Teacher English Lang Learners	.70	
GEA	Teacher English Lang Learners	1.00	
GEA	Teacher Family Consumer Scienc	1.00	
GEA	Teacher French	1.00	
GEA	Teacher General Science	1.00	
GEA	Teacher General Science	1.00	
GEA	Teacher General Science	1.00	
GEA	Teacher General Science	1.00	
GEA	Teacher General Science	1.00	
GEA	Teacher General Science	1.00	
GEA	Teacher Guidance	1.00	
GEA	Teacher Guidance	1.00	
GEA	Teacher Guidance	1.00	
GEA	Teacher Health	.40	
GEA	Teacher Interventionist	.40	re-purposed funds from Media
GEA	Teacher Interventionist	.60	ARP
GEA	Teacher Interventionist	1.00	Title I
GEA	Teacher Interventionist	1.00	ARP
GEA	Teacher Interventionist	.90	
GEA	Teacher Literacy Specialist	1.00	
GEA	Teacher Literacy Specialist	.60	
GEA	Teacher Mathematics	.80	

# Western Middle School Roster

2/1/2022

Bargaining Unit	Job Title	FTE or work hrs	NOTES
GEA	Teacher Mathematics	1.00	
GEA	Teacher Mathematics	1.00	
GEA	Teacher Mathematics	1.00	ARP
GEA	Teacher Mathematics	1.00	
GEA	Teacher Mathematics	1.00	
GEA	Teacher Mathematics	.10	
GEA	Teacher Mathematics	1.00	
GEA	Teacher Media	1.00	
GEA	Teacher Music - Band	1.00	
GEA	Teacher Music - Core / Choral	1.00	
GEA	Teacher Music - Strings	1.00	
GEA	Teacher Physical Education	.60	
GEA	Teacher Physical Education	1.00	
GEA	Teacher Physical Education	.40	
GEA	Teacher Physical Education	1.00	
GEA	Teacher Psychologist	1.00	
GEA	Teacher Psychologist	1.00	ARP
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Studies	.80	
GEA	Teacher Social Studies	1.00	
GEA	Teacher Social Worker	1.00	
GEA	Teacher Spanish	1.00	
GEA	Teacher Spanish	1.00	
GEA	Teacher Spanish	.20	re-purposed funds from Media
GEA	Teacher Spanish	.80	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	HR Added position due to enrollment
GEA	Teacher Sped	1.00	ARP
GEA	Teacher Sped	1.00	IDEA
GEA	Teacher Sped	1.00	IDEA
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Speech	1.00	
GEA	Teacher Speech	1.00	
GEA	Teacher Technology Education	1.00	
GMEA	Admin Staff Asst 2-Bilingual	1.00	
GMEA	Admin Staff Asst 2-Bilingual	1.00	

# Western Middle School Roster

2/1/2022

Bargaining Unit	Job Title	FTE or work hrs	NOTES
GMEA	Administrative Asst - School	1.00	
GMEA	ASA 11 Bilingual PT	25 hrs/wk	
GMEA	Cook 1 - Schools	27.5 hrs/wk	
GMEA	Food Service Worker	25 hrs/wk	
GMEA	Food Service Worker	21.25 hrs/wk	
GMEA	Food Service Worker	22.5 hrs/wk	
GMEA	IT Support Technician	1.00	
GMEA	Media Assistant	1.00	
GMEA	School Health Service Clerk	17.5 hrs / wk	HAV District Employee - currently shared between EMS and WMS
GOSA	Asst Principal Middle School	1.00	
GOSA	Asst Principal Middle School	1.00	
GOSA	Middle School Principal	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Head Custodian Middle-CC	1.00	
TEAMSTERS	Lead Custodian Middle School	1.00	
UPSEU	Phn 1 10 Month School Nurse	1.00	



**Cos Cob School Roster**

2/1/2022

<b>Bargaining Unit</b>	<b>Job Title</b>	<b>FTE or work hrs</b>	<b>NOTES</b>
GEA	Teacher Kindergarten	1.00	
GEA	Teacher Kindergarten	1.00	
GEA	Teacher Kindergarten	1.00	
GEA	Teacher 1st Grade	1.00	
GEA	Teacher 1st Grade	1.00	
GEA	Teacher 1st Grade	1.00	
GEA	Teacher 2nd Grade	1.00	
GEA	Teacher 2nd Grade	1.00	
GEA	Teacher 2nd Grade	1.00	
GEA	Teacher 3rd Grade	1.00	
GEA	Teacher 3rd Grade	1.00	
GEA	Teacher 3rd Grade	1.00	
GEA	Teacher 4th Grade	1.00	
GEA	Teacher 4th Grade	1.00	
GEA	Teacher 4th Grade	1.00	
GEA	Teacher 5th Grade	1.00	
GEA	Teacher 5th Grade	1.00	
GEA	Teacher 5th Grade	1.00	
GEA	Teacher Advanced Learning Prog	1.00	
GEA	Teacher Advanced Learning Prog	.70	
GEA	Teacher Advanced Learning Prog	.30	ESSER 2
GEA	Teacher Art	.90	
GEA	Teacher Art	.10	HR
GEA	Teacher Bilingual	.20	
GEA	Teacher English Lang Learners	.60	
GEA	Teacher English Lang Learners	1.00	
GEA	Teacher Literacy Specialist	.60	
GEA	Teacher Literacy Specialist	1.00	
GEA	Teacher Math Interventionist	.60	ESSER 2
GEA	Teacher Math Interventionist	.40	
GEA	Teacher Media	1.00	
GEA	Teacher Music - Strings	1.00	
GEA	Teacher Music - Band	.40	
GEA	Teacher Music - Band / Core	1.00	
GEA	Teacher Physical Education	1.00	
GEA	Teacher Physical Education	.80	
GEA	Teacher Psychologist	1.00	
GEA	Teacher Social Worker	.50	ESSER 2
GEA	Teacher Spanish	.80	
GEA	Teacher Sped	1.00	ARP
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Speech	1.00	
GOSA	Asst Principal Elementary Sch	1.00	

**Cos Cob School Roster**

2/1/2022

<b>Bargaining Unit</b>	<b>Job Title</b>	<b>FTE or work hrs</b>	<b>NOTES</b>
GOSA	Elementary School Principal	1.00	
LIUNA B	Professional Assistant ELL	.80	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
GMEA	Admin Staff Assistant 2	1.00	
GMEA	Administrative Asst - School	1.00	
GMEA	Cook 1 - Schools	26.25 hrs/wk	
GMEA	Food Service Worker	23.75 hrs/wk	
GMEA	IT Support Technician	1.00	
GMEA	Media Assistant	1.00	
non-rep	Admin Clerical Assistant I	14 hrs/wk	IDEA
non-rep	Cafeteria Monitor	15 hrs/wk	
non-rep	Cafeteria Monitor	15 hrs/wk	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Head Custodian	1.00	
UPSEU	Pub Hlth Nurse 2 10 Mnth	1.00	

**Glenville School Roster**

2/1/2022

<b>Bargaining Unit</b>	<b>Job Title</b>	<b>FTE or work hrs</b>	<b>NOTES</b>
GEA	Teacher Kindergarten	1.00	
GEA	Teacher Kindergarten	1.00	
GEA	Teacher Kindergarten	1.00	
GEA	Teacher Kindergarten	1.00	
GEA	Teacher 1st Grade	1.00	
GEA	Teacher 1st Grade	1.00	
GEA	Teacher 1st Grade LTS 2021-2022	1.00	
GEA	Teacher 2nd Grade	1.00	
GEA	Teacher 2nd Grade	1.00	
GEA	Teacher 2nd Grade	1.00	
GEA	Teacher 3rd Grade	1.00	
GEA	Teacher 3rd Grade	1.00	
GEA	Teacher 3rd Grade	1.00	
GEA	Teacher 3rd Grade	1.00	
GEA	Teacher 4th Grade	1.00	
GEA	Teacher 4th Grade	1.00	
GEA	Teacher 4th Grade	1.00	
GEA	Teacher 5th Grade	1.00	
GEA	Teacher 5th Grade	1.00	
GEA	Teacher 5th Grade	1.00	
GEA	Teacher Advanced Learning Prog	.70	
GEA	Teacher Advanced Learning Prog	.30	ESSER 2
GEA	Teacher Advanced Learning Prog	1.00	
GEA	Teacher Art	.90	
GEA	Teacher Art	.10	HR
GEA	Teacher English Lang Learners	.80	
GEA	Teacher Math Interventionist	.60	
GEA	Teacher Math Interventionist	.40	ESSER 2
GEA	Teacher Literacy Specialist	1.00	
GEA	Teacher Literacy Specialist	.50	
GEA	Teacher Media	1.00	
GEA	Teacher Music - Core	1.00	
GEA	Teacher Music - Band	.60	
GEA	Teacher Music - Strings	.30	
GEA	Teacher Music - Strings	.30	
GEA	Teacher Physical Education	1.00	
GEA	Teacher Physical Education	.70	
GEA	Teacher Psychologist	1.00	
GEA	Teacher Psychologist	.50	ESSER 2
GEA	Teacher Spanish	.80	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	IDEA
GEA	Teacher Speech	1.00	
GOSA	Asst Principal Elementary Sch	1.00	

**Glenville School Roster**

2/1/2022

<b>Bargaining Unit</b>	<b>Job Title</b>	<b>FTE or work hrs</b>	<b>NOTES</b>
GOSA	Elementary School Principal	1.00	
LIUNA B	Professional Assistant ELL	.40	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
GMEA	Admin Staff Assistant 1	16 hrs/wk	
GMEA	Admin Staff Assistant 2	1.00	
GMEA	Administrative Asst - School	1.00	
GMEA	Cook 1 - Schools	26.25 hrs/wk	
GMEA	Food Service Worker	25 hrs/wk	
GMEA	Media Assistant	1.00	
non-rep	Cafe Monitor Sub (Per Diem)	20 hrs/wk	
non-rep	Cafeteria Monitor	20 hrs/wk	
non-rep	Clerical Assistant	15 hrs/wk	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Head Custodian	1.00	
UPSEU	Phn 1 10 Month School Nurse	1.00	

**Hamilton Avenue School Roster**

2/1/2022

<b>Bargaining Unit</b>	<b>Job Title</b>	<b>FTE or work hrs</b>	<b>NOTES</b>
GEA	Teacher Kindergarten	1.00	
GEA	Teacher Kindergarten	1.00	
GEA	Teacher Kindergarten	1.00	
GEA	Teacher 1st Grade	1.00	
GEA	Teacher 1st Grade	1.00	
GEA	Teacher 1st Grade	1.00	
GEA	Teacher 2nd Grade	1.00	
GEA	Teacher 2nd Grade	1.00	
GEA	Teacher 3rd Grade	1.00	
GEA	Teacher 3rd Grade	1.00	
GEA	Teacher 3rd Grade	1.00	
GEA	Teacher 4th Grade	1.00	
GEA	Teacher 4th Grade	1.00	
GEA	Teacher 4th Grade	1.00	
GEA	Teacher 5th Grade	1.00	
GEA	Teacher 5th Grade	1.00	
GEA	Teacher 5th Grade	1.00	
GEA	Teacher Advanced Learning Prog	1.00	
GEA	Teacher Advanced Learning Prog	.70	
GEA	Teacher Advanced Learning Prog	.30	ESSER 2
GEA	Teacher Art	.90	
GEA	Teacher Art	.10	HR
GEA	Teacher ELL / Bilingual	.20	
GEA	Teacher English Lang Learners	1.00	
GEA	Teacher Math Interventionist	1.00	TITLE I
GEA	Teacher Literacy Specialist	1.00	
GEA	Teacher Literacy Coach	.50	TITLE I
GEA	Teacher Literacy Specialist	.50	
GEA	Teacher Literacy Specialist	.20	TITLE I
GEA	Teacher Literacy Specialist	1.00	
GEA	Teacher Media	1.00	
GEA	Teacher Music - Core	1.10	
GEA	Teacher Music - Strings	1.00	
GEA	Teacher Music - Strings	.40	
GEA	Teacher Music - Band	.40	
GEA	Teacher Music - Strings	1.00	
GEA	Teacher Physical Education	.50	
GEA	Teacher Physical Education	.60	
GEA	Teacher Physical Education	1.00	
GEA	Teacher Pre-School	1.00	
GEA	Teacher Pre-School	1.00	
GEA	Teacher Pre-School	1.00	
GEA	Teacher Pre-School	1.00	
GEA	Teacher Psychologist	1.00	
GEA	Teacher Social Worker	1.00	
GEA	Teacher Spanish	.60	

# Hamilton Avenue School Roster

2/1/2022

Bargaining Unit	Job Title	FTE or work hrs	NOTES
GEA	Teacher Spanish	1.00	
GEA	Teacher Spanish	.20	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Speech PreK	1.00	
GEA	Teacher Speech	1.00	
GOSA	Elementary School Principal	1.00	
GOSA	Interim Asst Principal Elem	1.00	
LIUNA B	Professional Assistant ELL	1.00	
LIUNA B	Professional Assistant PreK	1.00	
LIUNA B	Professional Assistant PreK	1.00	
LIUNA B	Professional Assistant PreK	1.00	
LIUNA B	Professional Assistant PreK	1.00	
LIUNA B	Professional Assistant PreK	1.00	
LIUNA B	Professional Assistant PreK	1.00	
LIUNA B	Professional Assistant PreK	1.00	
LIUNA B	Professional Assistant PreK	1.00	
LIUNA B	Pre-School Prof. Assistant	.70	
LIUNA B	Pre-School Prof. Assistant	.70	
LIUNA B	Pre-School Prof. Assistant	.70	
LIUNA B	Pre-School Prof. Assistant	.70	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Title 1	1.00	Title 1
GMEA	Admin Staff Assistant 2	1.00	
GMEA	Admin Staff Assistant 2	25 hrs/wk	
GMEA	Administrative Asst - School	1.00	
GMEA	Food Service Worker	22.5 hrs/wk	
GMEA	Food Service Worker	22.5 hrs/wk	
GMEA	Cook 1 - Schools	21.25 hrs/wk	
GMEA	IT Support Technician	1.00	
GMEA	Media Assistant	1.00	
non-rep	Cafe Monitor Sub (Per Diem)	20 hrs/wk	
non-rep	Cafe Monitor Sub (Per Diem)	15 hrs/wk	



# Hamilton Avenue School Roster

2/1/2022

Bargaining Unit	Job Title	FTE or work hrs	NOTES
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Head Custodian	1.00	
UPSEU	Phn 1 10 Month School Nurse	1.00	

Bargaining Unit	Job Title	FTE or work hrs	NOTES
GEA	Teacher Kindergarten	1.00	
GEA	Teacher Kindergarten	1.00	
GEA	Teacher Kindergarten	1.00	
GEA	Teacher 1st Grade	1.00	
GEA	Teacher 1st Grade	1.00	
GEA	Teacher 1st Grade	1.00	
GEA	Teacher 2nd Grade	1.00	
GEA	Teacher 2nd Grade	1.00	
GEA	Teacher 2nd Grade	1.00	
GEA	Teacher 3rd Grade	1.00	
GEA	Teacher 3rd Grade	1.00	
GEA	Teacher 3rd Grade	1.00	
GEA	Teacher 4th Grade	1.00	
GEA	Teacher 4th Grade	1.00	
GEA	Teacher 4th Grade	1.00	
GEA	Teacher 5th Grade	1.00	
GEA	Teacher 5th Grade	1.00	
GEA	Teacher 5th Grade	1.00	
GEA	Teacher Advanced Learning Prog	1.00	
GEA	Teacher Advanced Learning Prog	.70	
GEA	Teacher Advanced Learning Prog	.30	ESSER 2
GEA	Teacher Art	.90	
GEA	Teacher English Lang Learners	.80	
GEA	Teacher Literacy Specialist	1.00	
GEA	Teacher Math Interventionist	.40	
GEA	Teacher Math Interventionist	.60	ESSER 2
GEA	Teacher Media	1.00	
GEA	Teacher Music - Band	.40	
GEA	Teacher Music - Core	1.00	includes YPC
GEA	Teacher Music - Strings	.70	
GEA	Teacher Physical Education	1.00	
GEA	Teacher Physical Education	.70	
GEA	Teacher Psychologist	1.00	
GEA	Teacher Social Worker	.50	ESSER 2
GEA	Teacher Spanish	.20	
GEA	Teacher Spanish	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Speech	1.00	
GOSA	Asst Principal Elementary Sch	1.00	
GOSA	Elementary School Principal	1.00	
LIUNA B	PT ELL Professional Assistant	.60	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	

# International School at Dundee Roster

2/1/2022

Bargaining Unit	Job Title	FTE or work hrs	NOTES
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
GMEA	Admin Staff Assistant 2	35.00	
GMEA	Administrative Asst - School	35.00	
GMEA	Food Service Worker	22.50	
GMEA	Food Service Worker	27.5 hrs/wk	Working OOC Cook 1
GMEA	IT Support Technician	35.00	
GMEA	Media Assistant	35.00	
non-rep	Admin Clerical Assistant I	10 hrs/wk	
non-rep	Cafe Monitor Sub (Per Diem)	15 hrs/wk	
non-rep	Cafeteria Monitor	15 hrs/wk	
non-rep	Cafeteria Monitor	20 hrs/wk	
non-rep	Clerical Assistant	10 hrs/wk	
TEAMSTERS	Custodian 2	35.00	
TEAMSTERS	Custodian 2	35.00	
TEAMSTERS	Head Custodian	35.00	
non-rep	Custodial/Maintenance Temp	1.00	
UPSEU	Phn 1 10 Month School Nurse	37.50	

**Julian Curtiss School Roster**

2/1/2022

<b>Bargaining Unit</b>	<b>Job Title</b>	<b>FTE or work hrs</b>	<b>NOTES</b>
GEA	Teacher Kindergarten	1.00	
GEA	Teacher Kindergarten	1.00	
GEA	Teacher 1st Grade	1.00	
GEA	Teacher 1st Grade	1.00	
GEA	Teacher 1st Grade	1.00	
GEA	Teacher 2nd Grade	1.00	
GEA	Teacher 2nd Grade	1.00	
GEA	Teacher 3rd Grade	1.00	
GEA	Teacher 3rd Grade	1.00	
GEA	Teacher 4th Grade	1.00	
GEA	Teacher 4th Grade	1.00	
GEA	Teacher 4th Grade	1.00	
GEA	Teacher 5th Grade	1.00	
GEA	Teacher 5th Grade	1.00	
GEA	Teacher Advanced Learning Prog	1.00	
GEA	Teacher Advanced Learning Prog	.70	
GEA	Teacher Advanced Learning Prog	.30	ESSER 2
GEA	Teacher Art	.60	
GEA	Teacher English Lang Learners	.40	
GEA	Teacher English Lang Learners	1.00	
GEA	Teacher French	.40	
GEA	Teacher Literacy Specialist	1.00	
GEA	Teacher Literacy Specialist	1.00	
GEA	Teacher Math Interventionist	.40	ESSER 2
GEA	Teacher Math Interventionist	.60	
GEA	Teacher Media	1.00	
GEA	Teacher Music - Band	.30	
GEA	Teacher Music - Core	.70	
GEA	Teacher Music - Strings	.70	
GEA	Teacher Physical Education	.30	
GEA	Teacher Physical Education	1.00	
GEA	Teacher Psychologist	.50	
GEA	Teacher Psychologist	.50	IDEA
GEA	Teacher Psychologist	1.00	
GEA	Teacher Social Worker	1.00	ESSER 2
GEA	Teacher Spanish	.40	
GEA	Teacher Spanish	.10	Title I
GEA	Teacher Spanish	.40	
GEA	Teacher Sped	1.00	IDEA
GEA	Teacher Sped	1.00	IDEA
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	IDEA
GEA	Teacher Speech	1.00	
GOSA	Asst Principal Elementary Sch	1.00	
GOSA	Elementary School Principal	1.00	

# Julian Curtiss School Roster

2/1/2022

Bargaining Unit	Job Title	FTE or work hrs	NOTES
LIUNA B	Professional Assistant ELL	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
GMEA	Admin Staff Asst 2-Bilingual	1.00	
GMEA	Administrative Asst - School	1.00	
GMEA	Cook 1 - Schools	28.75 hrs/wk	
GMEA	Food Service Worker	21.25 hrs/wk	
GMEA	IT Support Technician	1.00	
GMEA	Media Assistant	1.00	
non-rep	Cafeteria Monitor	15 hrs/wk	
non-rep	Cafeteria Monitor	15 hrs/wk	
non-rep	Clerical Assistant	15 hrs/wk	
non-rep	Parent Educator	15 hrs/wk	Title I
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Head Custodian	1.00	
UPSEU	Phn 1 10 Month School Nurse	1.00	

# New Lebanon School Roster

2/1/2022

Bargaining Uni	Job Title	FTE or work hrs	NOTES
GEA	Teacher Kindergarten	1.0	
GEA	Teacher Kindergarten	1.0	
GEA	Teacher Kindergarten	1.0	
GEA	Teacher 1st Grade	1.0	
GEA	Teacher 1st Grade	1.0	
GEA	Teacher 1st Grade	1.0	
GEA	Teacher 2nd Grade	1.0	
GEA	Teacher 2nd Grade	1.0	
GEA	Teacher 2nd Grade	1.0	
GEA	Teacher 3rd Grade	1.0	
GEA	Teacher 3rd Grade	1.0	
GEA	Teacher 4th Grade	1.0	
GEA	Teacher 4th Grade	1.0	
GEA	Teacher 5th Grade	1.0	
GEA	Teacher 5th Grade	1.0	
GEA	Teacher Advanced Learning Prog	.70	
GEA	Teacher Advanced Learning Prog	.30	ESSER 2
GEA	Teacher Advanced Learning Prog	1.0	
GEA	Teacher Art	.90	
GEA	Teacher Art	.10	HR
GEA	Teacher English Lang Learners	.80	
GEA	Teacher English Lang Learners	1.0	
GEA	Teacher Interventionist	.20	
GEA	Teacher Interventionist	.80	
GEA	Teacher Literacy Specialist Coach	.50	TITLE I
GEA	Teacher Literacy Specialis LTS	1.0	
GEA	Teacher Literacy Specialist	1.0	
GEA	Teacher Math Interventionist	.60	
GEA	Teacher Math Interventionist	.40	ESSER 2
GEA	Teacher Media	1.0	
GEA	Teacher Music - Band	.20	
GEA	Teacher Music - Core / Band	1.0	
GEA	Teacher Music - Strings	.60	
GEA	Teacher Physical Education	.60	
GEA	Teacher Physical Education	1.1	
GEA	Teacher Pre-School	1.0	
GEA	Teacher Pre-School	1.0	
GEA	Teacher Pre-School	1.0	
GEA	Teacher Psychologist	1.0	
GEA	Teacher Social Worker	1.0	TITLE I
GEA	Teacher Spanish (FLES)	.60	
GEA	Teacher Spanish (FLES)	.30	
GEA	Teacher Spanish (FLES)	.40	
GEA	Teacher Sped LTS	1.0	1/3/22 position moved from CMS



# New Lebanon School Roster

2/1/2022

Bargaining Uni	Job Title	FTE or work hrs	NOTES
GEA	Teacher Sped	1.0	
GEA	Teacher Sped	1.0	
GEA	Teacher Sped	1.0	IDEA
GEA	Teacher Speech (Bilingual)	1.0	
GEA	Teacher Speech PreK	1.0	
GOSA	Asst Principal Elementary Sch	1.0	
GOSA	Elementary School Principal	1.0	
LIUNA B	Pre-School Prof. Assistant	.70	
LIUNA B	Pre-School Prof. Assistant	.70	
LIUNA B	Pre-School Prof. Assistant	.70	
LIUNA B	Professional Assistant ELL	.40	
LIUNA B	Professional Assistant PreK	1.0	
LIUNA B	Professional Assistant PreK	1.0	
LIUNA B	Professional Assistant PreK	1.0	
LIUNA B	Professional Assistant PreK	1.0	
LIUNA B	Professional Assistant PreK	1.0	
LIUNA B	Professional Assistant PreK	1.0	
LIUNA B	Professional Assistant Sped	1.0	
LIUNA B	Professional Assistant Sped	1.0	
LIUNA B	Professional Assistant Sped	1.0	
LIUNA B	Professional Assistant Sped	1.0	
LIUNA B	Professional Assistant Sped	1.0	
LIUNA B	Professional Assistant Title 1	1.0	TITLE I
GMEA	Admin Staff Assistant 2	1.0	
GMEA	Administrative Asst - School	1.0	
GMEA	Cook 1 - Schools	28.75 hrs/wk	
GMEA	Food Service Worker	21.25 hrs/wk	
GMEA	Food Service Worker	20 hrs/wk	
GMEA	IT Support Technician	1.0	
GMEA	Media Assistant	25 hrs/wk	
non-rep	Admin Clerical Assistant I	14 hrs/wk	IDEA
non-rep	Cafe Monitor Sub (Per Diem)	20 hrs/wk	
non-rep	Cafeteria Monitor	20 hrs /wk	
TEAMSTERS	Custodian 2	1.0	
TEAMSTERS	Custodian 2	1.0	
TEAMSTERS	Custodian 2	1.0	
TEAMSTERS	Head Custodian	1.0	
UPSEU	Phn 1 10 Month School Nurse	1.0	

Bargaining Unit	Job Title	FTE or work hrs	NOTES
GEA	Teacher Kindergarten	1.00	
GEA	Teacher Kindergarten	1.00	
GEA	Teacher Kindergarten	1.00	
GEA	Teacher Kindergarten	1.00	
GEA	Teacher 1st Grade	1.00	
GEA	Teacher 1st Grade	1.00	
GEA	Teacher 1st Grade	1.00	
GEA	Teacher 1st Grade	1.00	
GEA	Teacher 2nd Grade	1.00	
GEA	Teacher 2nd Grade	1.00	
GEA	Teacher 2nd Grade	1.00	
GEA	Teacher 2nd Grade	1.00	
GEA	Teacher 3rd Grade	1.00	
GEA	Teacher 3rd Grade	1.00	
GEA	Teacher 3rd Grade LTS	1.00	new position
GEA	Teacher 3rd Grade	1.00	
GEA	Teacher 3rd Grade	1.00	
GEA	Teacher 4th Grade	1.00	
GEA	Teacher 4th Grade	1.00	
GEA	Teacher 4th Grade	1.00	
GEA	Teacher 4th Grade	1.00	
GEA	Teacher 5th Grade	1.00	
GEA	Teacher 5th Grade	1.00	
GEA	Teacher 5th Grade	1.00	
GEA	Teacher 5th Grade	1.00	
GEA	Teacher Advanced Learning Prog	.70	
GEA	Teacher Advanced Learning Prog	.30	ESSER 2
GEA	Teacher Advanced Learning Prog	1.00	
GEA	Teacher Art LTS	1.00	
GEA	Teacher Art LTS	.10	HR
GEA	Teacher English Lang Learners	1.00	
GEA	Teacher Literacy Specialist	.60	
GEA	Teacher Literacy Specialist	1.00	
GEA	Teacher Math Interventionist	.40	
GEA	Teacher Math Interventionist	.60	ESSER 2
GEA	Teacher Media	1.00	ESSER 2
GEA	Teacher Music - Core	.20	
GEA	Teacher Music - Core	.10	HR
GEA	Teacher Music - Core	1.00	
GEA	Teacher Music - Strings/Band	.70	
GEA	Teacher Physical Education	.10	
GEA	Teacher Physical Education	.10	HR
GEA	Teacher Physical Education	1.10	
GEA	Teacher Physical Education	1.10	
GEA	Teacher Psychologist	1.00	

Bargaining Unit	Job Title	FTE or work hrs	NOTES
GEA	Teacher Social Worker	.50	ESSER 2
GEA	Teacher Spanish	.90	
GEA	Teacher Spanish	.10	HR
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	IDEA
GEA	Teacher Sped	1.00	IDEA
GEA	Teacher Speech	1.00	
GOSA	Asst Principal Elementary Sch	1.00	
GOSA	Elementary School Principal	1.00	
LIUNA B	Professional Assistant ELL	.50	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	position moved from GL 1/3/2022
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	NEW Position 12/13/21 - 6/24/21 only
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
GMEA	Admin Staff Assistant 1	16 hrs/wk	
GMEA	Admin Staff Assistant 1	11 hrs/wk	
GMEA	Admin Staff Assistant 2	1.00	
GMEA	Administrative Asst - School	1.00	
GMEA	Cook 1 - Schools	26.25 hrs/wk	
GMEA	Food Service Worker	25 hrs/wk	
GMEA	Food Service Worker	23.75 hrs/wk	
GMEA	IT Support Technician	1.00	
GMEA	Media Assistant	1.00	
non-rep	Cafe Monitor Sub (Per Diem)	15 hrs/wk	
non-rep	Cafe Monitor Sub (Per Diem)	15 hrs/wk	
non-rep	Cafeteria Monitor	15 hrs/wk	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Head Custodian	1.00	
non-rep	Custodial/Maintenance Temp	35.00	ARP
UPSEU	Phn 1 10 Month School Nurse	1.00	

# North Street School Roster

2/1/2022

Bargaining Unit	Job Title	FTE or work hrs	NOTES
GEA	Teacher Kindergarten	1.00	
GEA	Teacher Kindergarten	1.00	
GEA	Teacher Kindergarten	1.00	
GEA	Teacher 1st Grade	1.00	
GEA	Teacher 1st Grade	1.00	
GEA	Teacher 1st Grade	1.00	
GEA	Teacher 2nd Grade	1.00	
GEA	Teacher 2nd Grade	1.00	
GEA	Teacher 2nd Grade	1.00	
GEA	Teacher 3rd Grade	1.00	
GEA	Teacher 3rd Grade	1.00	
GEA	Teacher 3rd Grade	1.00	
GEA	Teacher 4th Grade	1.00	
GEA	Teacher 4th Grade	1.00	
GEA	Teacher 4th Grade	1.00	
GEA	Teacher 5th Grade	1.00	
GEA	Teacher 5th Grade	1.00	
GEA	Teacher 5th Grade	1.00	
GEA	Teacher Advanced Learning Prog	1.00	
GEA	Teacher Advanced Learning Prog	.70	
GEA	Teacher Advanced Learning Prog	.30	ESSER 2
GEA	Teacher Art	.90	
GEA	Teacher Art	.10	HR
GEA	Teacher English Lang Learners	.30	
GEA	Teacher Literacy Specialist	1.00	
GEA	Teacher Math Interventionist	.40	
GEA	Teacher Math Interventionist	.60	ESSER 2
GEA	Teacher Media	1.00	
GEA	Teacher Music - Core	.90	
GEA	Teacher Music - Core	.10	HR
GEA	Teacher Music - Strings	.40	
GEA	Teacher Music - Band	.30	
GEA	Teacher Physical Education	.70	
GEA	Teacher Physical Education	1.00	
GEA	Teacher Pre-School	1.00	
GEA	Teacher Pre-School	1.00	
GEA	Teacher Pre-School	.40	IDEA
GEA	Teacher Pre-School	.60	
GEA	Teacher Pre-School	1.00	
GEA	Teacher Psychologist	1.00	
GEA	Teacher Social Worker	.50	ESSER 2
GEA	Teacher Spanish	.20	
GEA	Teacher Spanish	.40	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	

# North Street School Roster

2/1/2022

Bargaining Unit	Job Title	FTE or work hrs	NOTES
GEA	Teacher Speech	1.00	
GEA	Teacher Speech PreK	1.00	
GEA	Teacher Speech PreK	1.00	
GOSA	Asst Principal Elementary Sch	1.00	
GOSA	Elementary School Principal	1.00	
LIUNA B	Pre-School Prof. Assistant	.70	
LIUNA B	Pre-School Prof. Assistant	.70	
LIUNA B	Pre-School Prof. Assistant	.70	
LIUNA B	Pre-School Prof. Assistant	.70	
LIUNA B	Pre-School Prof. Assistant	.70	
LIUNA B	Pre-School Prof. Assistant	.70	
LIUNA B	Pre-School Prof. Assistant	.70	
LIUNA B	Pre-School Prof. Assistant	.70	
LIUNA B	Professional Assistant PreK	1.00	
LIUNA B	Professional Assistant PreK	1.00	
LIUNA B	Professional Assistant PreK	1.00	
LIUNA B	Professional Assistant PreK	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
GMEA	Admin Staff Assistant 2	1.00	
GMEA	Administrative Asst - School	1.00	
GMEA	Cook 1 - Schools	25 hrs/wk	
GMEA	Food Service Worker	25 hrs/wk	
GMEA	IT Support Technician	1.00	
GMEA	Media Assistant	1.00	
non-rep	Admin Clerical Assistant I	17 hrs/wk	
non-rep	Cafeteria Monitor	15 hrs/wk	
non-rep	Cafeteria Monitor	15 hrs/wk	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Head Custodian	1.00	

# North Street School Roster

2/1/2022

Bargaining Unit	Job Title	FTE or work hrs	NOTES
non-rep	Custodial/Maintenance Temp	1.00	
UPSEU	Phn 1 10 Month School Nurse	1.00	



# Old Greenwich School Roster

2/1/2022

Bargaining Unit	Job Title	FTE or work hrs	NOTES
GEA	Teacher Kindergarten	1.00	
GEA	Teacher Kindergarten	1.00	
GEA	Teacher Kindergarten	1.00	
GEA	Teacher 1st Grade	1.00	
GEA	Teacher 1st Grade	1.00	
GEA	Teacher 1st Grade	1.00	
GEA	Teacher 2nd Grade	1.00	
GEA	Teacher 2nd Grade	1.00	
GEA	Teacher 2nd Grade	1.00	
GEA	Teacher 3rd Grade	1.00	
GEA	Teacher 3rd Grade	1.00	
GEA	Teacher 3rd Grade	1.00	
GEA	Teacher 4th Grade	1.00	
GEA	Teacher 4th Grade	1.00	
GEA	Teacher 4th Grade	1.00	
GEA	Teacher 5th Grade	1.00	
GEA	Teacher 5th Grade	1.00	
GEA	Teacher 5th Grade	1.00	
GEA	Teacher Advanced Learning Prog	.70	
GEA	Teacher Advanced Learning Prog	.30	ESSER 2
GEA	Teacher Advanced Learning Prog	1.00	
GEA	Teacher Art	.90	
GEA	Teacher Art	.10	HR
GEA	Teacher English Lang Learners	.80	
GEA	Teacher Literacy Specialist	1.00	
GEA	Teacher Math Interventionist	.40	ESSER 2
GEA	Teacher Math Interventionist	.60	
GEA	Teacher Media	1.00	
GEA	Teacher Music - Strings	.40	
GEA	Teacher Music - Core	.90	
GEA	Teacher Music - Core	.10	HR
GEA	Teacher Music - Band	.50	
GEA	Teacher Physical Education	1.00	
GEA	Teacher Physical Education	.70	
GEA	Teacher Physical Education	.10	ARP
GEA	Teacher Pre-School	1.00	
GEA	Teacher Pre-School	1.00	
GEA	Teacher Social Worker	.50	ESSER 2
GEA	Teacher Social Worker LTS	1.00	
GEA	Teacher Spanish	.70	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Speech	1.00	IDEA
GEA	Teacher Speech PreK	1.00	

# Old Greenwich School Roster

2/1/2022

Bargaining Unit	Job Title	FTE or work hrs	NOTES
GOSA	Asst Principal Elementary Sch	1.00	
GOSA	Elementary School Principal	1.00	
LIUNA B	Pre-School Prof. Assistant	.70	
LIUNA B	Pre-School Prof. Assistant	.70	
LIUNA B	Pre-School Prof. Assistant	.70	
LIUNA B	Pre-School Prof. Assistant	.70	
LIUNA B	Professional Assistant ELL	.50	
LIUNA B	Professional Assistant PreK	1.00	
LIUNA B	Professional Assistant PreK	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
GMEA	Admin Staff Assistant 1	16 hrs/wk	
GMEA	Admin Staff Assistant 1	8 hrs/wk	
GMEA	Admin Staff Assistant 2	1.00	
GMEA	Administrative Asst - School	1.00	
GMEA	Cook 1 - Schools	23.75 hrs/wk	
GMEA	Food Service Worker	25 hrs/wk	
GMEA	IT Support Technician	1.00	
GMEA	Media Assistant	1.00	
non-rep	Cafe Monitor Sub (Per Diem)	20 hrs/wk	
non-rep	Cafeteria Monitor	15 hrs/wk	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Head Custodian	1.00	
non-rep	Custodial/Maintenance Temp	1.00	
UPSEU	Phn 1 10 Month School Nurse	1.00	

# Parkway School Roster

2/1/2022

Bargaining Unit	Job Title	FTE or work hrs	NOTES
GEA	Teacher Kindergarten	1.00	
GEA	Teacher Kindergarten	1.00	
GEA	Teacher 1st Grade	1.00	
GEA	Teacher 1st Grade	1.00	
GEA	Teacher 1st Grade	1.00	
GEA	Teacher 2nd Grade	1.00	
GEA	Teacher 2nd Grade	1.00	
GEA	Teacher 3rd Grade	1.00	
GEA	Teacher 3rd Grade	1.00	
GEA	Teacher 4th Grade	1.00	
GEA	Teacher 4th Grade	1.00	
GEA	Teacher 5th Grade	1.00	
GEA	Teacher 5th Grade	1.00	
GEA	Teacher Advanced Learning Prog	1.00	
GEA	Teacher Advanced Learning Prog	.70	
GEA	Teacher Advanced Learning Prog	.30	ESSER 2
GEA	Teacher Art	.70	
GEA	Teacher English Lang Learners	.30	
GEA	Teacher Literacy Specialist	.80	
GEA	Teacher Math Interventionist	.40	ESSER 2
GEA	Teacher Math Interventionist	.60	
GEA	Teacher Media	1.00	
GEA	Teacher Music - Band	.30	
GEA	Teacher Music - Strings/Band	.30	
GEA	Teacher Music - Core	.70	
GEA	Teacher Physical Education	.30	
GEA	Teacher Physical Education	1.00	
GEA	Teacher Psychologist	1.00	
GEA	Teacher Social Worker	.50	ESSER 2
GEA	Teacher Spanish	.50	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Speech	1.00	
GOSA	Asst Principal Elementary Sch	1.00	
GOSA	Elementary School Principal	1.00	
LIUNA B	Professional Assistant ELL	.20	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
GMEA	Administrative Asst - School	1.00	

# Parkway School Roster

2/1/2022

Bargaining Unit	Job Title	FTE or work hrs	NOTES
GMEA	Cook 1 - Schools	23.75 hrs/wk	
GMEA	Food Service Worker	22.5 hrs/wk	
GMEA	IT Support Technician	1.00	
GMEA	Media Assistant	1.00	
non-rep	Cafe Monitor Sub (Per Diem)	20 hrs/wk	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Head Custodian	1.00	
non-rep	Custodial/Maintenance Temp	1.00	
UPSEU	Phn 1 10 Month School Nurse	1.00	

Bargaining Unit	Job Title	FTE or work hrs	NOTES
GEA	Teacher Kindergarten	1.00	
GEA	Teacher Kindergarten	1.00	
GEA	Teacher Kindergarten	1.00	
GEA	Teacher Kindergarten	1.00	
GEA	Teacher 1st Grade	1.00	
GEA	Teacher 1st Grade	1.00	
GEA	Teacher 1st Grade	1.00	
GEA	Teacher 1st Grade	1.00	
GEA	Teacher 2nd Grade	1.00	
GEA	Teacher 2nd Grade	1.00	
GEA	Teacher 2nd Grade	1.00	
GEA	Teacher 2nd Grade	1.00	
GEA	Teacher 3rd Grade	1.00	
GEA	Teacher 3rd Grade	1.00	
GEA	Teacher 3rd Grade	1.00	
GEA	Teacher 3rd Grade	1.00	
GEA	Teacher 3rd Grade	1.00	
GEA	Teacher 3rd Grade LTS	1.00	
GEA	Teacher 4th Grade	1.00	
GEA	Teacher 4th Grade	1.00	
GEA	Teacher 4th Grade	1.00	
GEA	Teacher 5th Grade	1.00	
GEA	Teacher 5th Grade	1.00	
GEA	Teacher 5th Grade	1.00	
GEA	Teacher 5th Grade	1.00	
GEA	Teacher Advanced Learning Prog	.70	
GEA	Teacher Advanced Learning Prog	.30	ESSER 2
GEA	Teacher Advanced Learn Pro LTS	1.00	
GEA	Teacher Art	1.10	
GEA	Teacher English Lang Learners	.80	
GEA	Teacher Literacy Specialist	1.00	
GEA	Teacher Math Interventionist	.60	ESSER 2
GEA	Teacher Math Interventionist	.40	
GEA	Teacher Media	1.00	
GEA	Teacher Music - Band	.40	
GEA	Teacher Music - Band	.10	ARP
GEA	Teacher Music - Strings	.80	
GEA	Teacher Music - Core	1.10	
GEA	Teacher Physical Education	1.10	
GEA	Teacher Physical Education	1.10	
GEA	Teacher Psychologist	1.00	
GEA	Teacher Social Worker	.50	ESSER 2
GEA	Teacher Spanish	1.00	
GEA	Teacher Sped	1.00	IDEA
GEA	Teacher Sped	1.00	IDEA
GEA	Teacher Speech	1.00	

Bargaining Unit	Job Title	FTE or work hrs	NOTES
GOSA	Asst Principal Elementary Sch	1.00	
GOSA	Elementary School Principal	1.00	
LIUNA B	Professional Assistant ELL	.60	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
LIUNA B	Professional Assistant Sped	1.00	
GMEA	Admin Staff Assistant 1	20 hrs/wk	
GMEA	Admin Staff Assistant 2	1.00	
GMEA	Administrative Asst - School	1.00	
GMEA	Cook 1 - Schools	23.75 hrs/wk	
GMEA	Food Service Worker	27.5 hrs/wk	
GMEA	IT Support Technician	1.00	
GMEA	Media Assistant	1.00	
non-rep	Cafeteria Monitor	17.5 hrs/wk	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	20 hrs/wk	
TEAMSTERS	Head Custodian	1.00	
UPSEU	Phn 1 10 Month School Nurse	1.00	

# Havemeyer Roster

2/1/2022

Bargaining Unit	Job Title	FTE or work hrs	NOTES
Office Admin	Chief Academic Officer	1.00	
Office Admin	Chief Operating Officer	1.00	
Office Admin	Chief, Human Resources	1.00	
Office Admin	Chief, Pupil Personnel Svcs	1.00	
Office Admin	Deputy Superintendent	1.00	
Office Admin	Superintendent Of Schools	1.00	
GOSA	Interim Program Coordinator	1.00	
GOSA	Program Administrator	1.00	
GOSA	Program Administrator	.50	
GOSA	Program Coordinator	1.00	
GOSA	Program Coordinator	1.00	
GOSA	Program Coordinator	1.00	
GOSA	Program Coordinator	1.00	
GOSA	Program Coordinator	1.00	
GOSA	Program Coordinator	1.00	
GOSA	Program Coordinator	1.00	
GOSA	Program Coordinator	1.00	
GEA	Teacher ALP Facilitator	1.00	
GEA	Teacher English Lang Learners	.30	
GEA	Teacher GEA President	1.00	
GEA	Teacher of Visually Impaired	1.00	
GEA	Teacher Pre-School	1.00	
GEA	Teacher Pre-School	1.00	
GEA	Teacher Psychologist	1.00	
GEA	Teacher Psychologist	1.00	
GEA	Teacher Psychologist	1.00	
GEA	Teacher Psychologist	1.00	
GEA	Teacher Psychologist	1.00	
GEA	Teacher Psychologist	1.00	
GEA	Teacher Social Worker	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped (Orton Gillingham)	.80	0.3 fte IDEA
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	1.00	
GEA	Teacher Sped	.50	ARP
GEA	Teacher Sped	1.00	0.5 fte IDEA
GEA	Teacher Speech	1.00	
GEA	Teacher Speech	1.00	
GEA	Teacher Speech	1.00	0.25 IDEA
GEA	Teacher Speech	1.00	HR New Position
GEA	Teacher Speech	1.00	



Havemeyer Roster

2/1/2022

Bargaining Unit	Job Title	FTE or work hrs	NOTES
GEA	Teacher Speech	1.00	
GMEA	AA PT Bilingual	25 hrs/wk	
GMEA	AA-Schools PT	25 hrs/wk	
GMEA	Admin Asst - General	25 hrs/wk	
GMEA	Admin Asst - General	25 hrs/wk	
GMEA	Admin Asst - General	25 hrs/wk	
GMEA	Admin Asst - General	25 hrs/wk	
GMEA	Admin Asst - General	25 hrs/wk	
GMEA	Admin Asst - General	20 hrs/wk	
GMEA	Admin Asst - General	25 hrs/wk	
GMEA	Admin Asst Bilingual	1.00	
GMEA	Administrative Asst. - General	1.00	
GMEA	Administrative Asst. - General	1.00	
GMEA	Administrative Asst. - General	1.00	
GMEA	Administrative Asst. - General	1.00	
GMEA	Assist to Superintend of Schoo	1.00	
GMEA	Business Operations Supervisor	1.00	
GMEA	Contract Coordinator BOE PT	1.00	
GMEA	Customer Service Rep HR	1.00	
GMEA	Customer Service Rep HR	1.00	
GMEA	Facilities Technical Assistant	1.00	
GMEA	HR Technician BOE	1.00	
GMEA	Human Resources Assistant BOE	1.00	
GMEA	Instructional Tech Supervisor	1.00	
GMEA	PPS Data Specialist	1.00	
GMEA	Print Shop Technician	1.00	
GMEA	Print Shop Technician PT	25 hrs/wk	
GMEA	Pupil Personnel Services Asst.	1.00	
GMEA	Reproduction Center Manager	1.00	
GMEA	School Activity Fund Clerk	1.00	
GMEA	Accounting & Medical Clerk	1.00	
LIUNA	Building Operations Manager	1.00	
LIUNA	Building Operations Manager	1.00	
LIUNA	Database Administrator	1.00	
LIUNA	Director Of School Safety Srvs	1.00	
LIUNA	Finance Supervisor BOE	1.00	
LIUNA	Food Services Director	1.00	
LIUNA	HR Specialist BOE	1.00	
LIUNA	HRIS Analyst	1.00	
LIUNA	Network Specialist	1.00	
LIUNA	Occupational Therapist-BOE	1.00	
LIUNA	Project Mgr. Facilities BOE	1.00	
LIUNA	Senior Buyer/Warehouse Supervs	1.00	

# Havemeyer Roster

2/1/2022

Bargaining Unit	Job Title	FTE or work hrs	NOTES
LIUNA	Sr Network Specialist BOE	1.00	
LIUNA	Sr Network Specialist BOE	1.00	
LIUNA	Supervisor School Hlth Nurses	1.00	
LIUNA	Technical Support Manager BOE	1.00	
LIUNA	Transporation Manager BOE	1.00	
LIUNA	Financial Reporting & Analysis	1.00	
M&C	Asst Director BOE/Human Resour	1.00	
M&C	Conf Communications Specialist	1.00	
M&C	Director Of Comm. & BOE Liason	1.00	
M&C	Director Of Educ Tech-BOE	1.00	
M&C	Director Of Facilities - BOE	1.00	
M&C	Exec Asst to CHRO BOE	1.00	
TEAMSTERS	Bldg. Construct. Foreman (BOE)	1.00	
TEAMSTERS	Building Maintenance Mechanic	1.00	
TEAMSTERS	Building Maintenance Mechanic	1.00	
TEAMSTERS	Building Maintenance Mechanic	1.00	
TEAMSTERS	Custodian 2	1.00	
TEAMSTERS	Custodian 2	20 hrs/wk	
TEAMSTERS	Head Custodian	1.00	
TEAMSTERS	HVAC Repair/Main Mechanic	1.00	
TEAMSTERS	HVAC Repair/Main Mechanic	1.00	
TEAMSTERS	HVAC Repair/Main Mechanic	1.00	
TEAMSTERS	HVAC Repair/Main Mechanic	1.00	
TEAMSTERS	Inventory Control Worker - BOE	1.00	
TEAMSTERS	Warehouse Expeditor	1.00	
UPSEU	Phn 1 10 Month School Nurse	1.00	

# Temporary Seasonal Employees

2/1/2022

Bargaining Unit	Job Title	Standard Hours	NOTES
non-rep	Adult Ed Instructor	35.00	
non-rep	Adult Ed Instructor	25.00	
non-rep	Adult Ed Instructor	20.00	
non-rep	Adult Ed Instructor	25.00	
non-rep	Adult Ed Instructor	15.00	
non-rep	Adult Ed Instructor	25.00	
non-rep	Adult Ed Instructor	15.00	
non-rep	Adult Ed Instructor	25.00	
non-rep	Adult Ed Instructor	25.00	
non-rep	Adult Ed Instructor	25.00	
non-rep	Adult Ed Instructor	15.00	
non-rep	Adult Ed Instructor	25.00	
non-rep	Adult Ed Instructor	35.00	
non-rep	Adult Ed Instructor	25.00	
non-rep	Adult Ed Instructor	25.00	
non-rep	Adult Ed Instructor	15.00	
non-rep	Adult Ed Instructor	25.00	
non-rep	Adult Ed Instructor	25.00	
non-rep	Adult Ed Instructor	15.00	
non-rep	Adult Ed Instructor	25.00	
non-rep	Adult Ed Instructor	25.00	
non-rep	Adult Ed Instructor	25.00	
non-rep	Adult Ed Instructor	20.00	
non-rep	Adult Ed Instructor	25.00	
non-rep	Adult Ed Instructor	25.00	
non-rep	Adult Ed Instructor	25.00	
non-rep	Adult Ed Instructor	25.00	
non-rep	Adult Ed Instructor	15.00	
non-rep	Adult Ed Instructor	25.00	
non-rep	Adult Ed Instructor	25.00	
non-rep	Adult Ed Instructor	15.00	
non-rep	Adult Ed Instructor	15.00	
non-rep	Adult Ed Instructor	15.00	
non-rep	Adult Ed Instructor	15.00	
non-rep	Adult Ed Instructor	25.00	
non-rep	Adult Ed Instructor	25.00	
non-rep	Adult Ed Instructor	15.00	
non-rep	Adult Ed Instructor	15.00	
non-rep	Adult Ed Instructor	25.00	
non-rep	Adult Ed Instructor	25.00	
non-rep	Adult Ed Instructor	15.00	
non-rep	Adult Ed Instructor	15.00	
non-rep	Adult Ed Instructor	25.00	
non-rep	Adult Ed Instructor	25.00	
non-rep	Adult Ed Instructor	25.00	
non-rep	Adult Ed Instructor	35.00	

## Temporary Seasonal Employees

2/1/2022

[illegible]

## Temporary Seasonal Employees

2/1/2022

Bargaining Unit	Job Title	Standard Hours	NOTES
non-rep	Coach	25.00	
non-rep	Coach	25.00	
non-rep	Coach	25.00	
non-rep	Coach	25.00	
non-rep	Coach	25.00	
non-rep	Coach	25.00	
non-rep	Coach	35.00	
non-rep	Coach	30.00	
non-rep	Coach	25.00	
non-rep	Coach	25.00	
non-rep	Coach	35.00	
non-rep	Coach	25.00	
non-rep	Coach	25.00	
non-rep	Coach	25.00	
non-rep	Coach	25.00	
non-rep	Coach	25.00	
non-rep	Coach	35.00	
non-rep	Coach	25.00	
non-rep	Coach	35.00	
non-rep	Coach	35.00	
non-rep	Coach	30.00	
non-rep	Coach	25.00	
non-rep	Coach	25.00	
non-rep	Coach	25.00	
non-rep	Coach	25.00	
non-rep	Coach	25.00	
non-rep	Coach	25.00	
non-rep	Coach	25.00	
non-rep	Coach	25.00	
non-rep	Homebound Tutor	25.00	
non-rep	Homebound Tutor	35.00	
non-rep	Homebound Tutor	25.00	
non-rep	Homebound Tutor	35.00	
non-rep	Homebound Tutor	25.00	
non-rep	Homebound Tutor	35.00	
non-rep	Homebound Tutor	25.00	
non-rep	Homebound Tutor	25.00	
non-rep	Homebound Tutor	30.00	
non-rep	Parent Educator	21.00	
non-rep	Per Diem Admin. Assistant	15.00	
non-rep	Professional Temp	35.00	
non-rep	Professional Temp	14.00	
non-rep	Professional Temp	15.00	

## Temporary Seasonal Employees

2/1/2022

Bargaining Unit	Job Title	Standard Hours	NOTES
non-rep	Professional Temp	15.00	
non-rep	Professional Temp	35.00	
non-rep	Recreational Aide	15.00	
non-rep	Substitute School Nurse	35.00	
non-rep	Substitute School Nurse	15.00	
non-rep	Substitute School Nurse	35.00	
non-rep	Substitute School Nurse	35.00	
non-rep	Substitute School Nurse	35.00	
non-rep	Substitute School Nurse	15.00	
non-rep	Substitute School Nurse	35.00	
non-rep	Substitute School Nurse	35.00	
non-rep	Substitute School Nurse	25.00	
non-rep	Substitute School Nurse	15.00	

**Greenwich Public School**  
**ESSER2 Actuals Expenditures**  
**as of December 23, 2021**

	Actual FY21	Actual & Projected FY22	Totals
<b>ESSER2</b>			
<b>IT / MIS</b>			
Property - Technology	969,000		969,000
Facilities	969,000		969,000
Supplies	238,719		238,719
<b>Food Service</b>			
Supplies	238,719		238,719
<b>Food Service</b>			
Supplies	233,577		233,577
Transportation	233,577		233,577
<b>Human Resources</b>			
Certified - ALP, Summer Evals, Remote Teacher	1,260,579	1,334,912	2,595,491
Non-certified warehouse/police OT & temp cust	1,068,645		1,068,645
5.0 Social Worker (ARP in FY23 & FY24)	191,934		191,934
5.0 Math Interventionist (Operating Fund in FY23)		413,364	413,364
3.3 ALP (ARP in FY23 & FY24)		540,023	540,023
Facilities		381,525	381,525
PPE		19,975	19,975
Teaching & Learning		19,975	19,975
Classroom Supplies - GEODE Learning Loss		211,284	211,284
<b>Total ESSER2</b>	<b>2,701,875</b>	<b>1,566,171</b>	<b>4,268,046</b>
<b>Budget</b>			
Remaining Balance			4,268,046



# Greenwich Public School

ESSER3/ARP Actuals To Date & Projected Expenditures  
as of December 23, 2021

	Actual & Projected			Totals
	FY22	FY23	FY24	
<b>ARP/ESSER3</b>				
<b>Human Resources</b>	<b>1,041,041</b>	<b>1,860,933</b>	<b>1,574,382</b>	<b>4,476,357</b>
Substitute Incentive Pay	249,239	120,500		369,739
3.5 Teacher SPED	350,272	413,877	426,293	1,190,442
.50 English	30,767	31,690		62,457
.50 Teacher Speech	42,342	43,612	44,921	130,875
.50 SPED Assistive Tech	50,447	51,960	-	102,407
.10 PE	12,452	12,826	13,210	38,488
.60 Reading Interventionist ELA	52,178	53,743	55,356	161,277
1.0 Math Interventionist	124,521	128,257		252,778
1.0 Teacher Math	74,996	77,246	79,563	231,805
1.0 Psychology	105,327	108,487	111,741	325,555
5.0 Social Worker (ESSER2 in FY22)	-	425,765	438,538	864,303
3.3 ALP (ESSER2 in FY22)	-	392,971	404,760	797,731
<b>Town Allocation of Benefits</b>	<b>-</b>	<b>392,657</b>	<b>332,195</b>	<b>724,852</b>
<b>Facilities</b>	<b>1,475,211</b>	<b>1,491,782</b>	<b>-</b>	<b>2,966,993</b>
Disinfectant	60,765			60,765
GHS Media Room Redesign for Social Distancing	64,111			64,111
PPE <sup>1</sup>	361,609	726,782		1,088,391
Container Storage	7,634			7,634
GHS Glass Hall HVAC	175,000			175,000
NM HVAC + Ionization	206,092			206,092
HVAC Ionization for four schools	-	325,000		325,000
GHS Student Center Redesign	500,000			500,000
Community Connection	-	440,000		440,000
CMS Engineering Structural Analysis	100,000			100,000
<b>Food Services</b>	<b>140,846</b>			<b>140,846</b>
Meal Delivery	140,846			140,846
<b>Teaching &amp; Learning</b>	<b>344,508</b>	<b>876,800</b>	<b>61,800</b>	<b>1,283,108</b>

ARP/ESSER3	FY22	FY23	FY24	Totals
ELA & Social Studies Digital Curriculum Support Gr 6-8	75,000			75,000
Reading Materials for MTSS (multi tiered system support)	75,000			75,000
Professional Learning Materials for UDL	32,500			32,500
Social Studies & English Curriculum & PL for Gr 9-12	-	100,000		100,000
Sophomores & Junior SAT Prep for Windrose	1,000	1,000	1,000	3,000
PCG Action Planning & UDL District Wide Training	100,000			100,000
School Climate Consultant	7,900	35,800	35,800	79,500
Family and Community Engagement (FACE) Consultant	20,000	20,000	25,000	65,000
Classroom Subscriptions - Edpuzzle	4,650			4,650
Supplies	3,005			3,005
Science materials K-5 supplementary		530,000		530,000
Reading Clinic Supplies		90,000		90,000
Library Clinics		100,000		100,000
Radios	4,873			4,873
Virtual Team Coaching	18,000			18,000
Zoom Administrator for Parent Meetings	2,580			2,580
<b>Total ARP/ESSER3</b>	<b>3,001,606</b>	<b>4,622,172</b>	<b>1,968,377</b>	<b>9,592,155</b>

Note: <sup>1</sup>PPE consist of the following items - COVID posters, COVID test & test kits, masks, gloves, mask wind instruments, flute boots, inst covers, table dividers, and trifold barriers

Budget	9,592,155
Remaining Balance	(0)

## **Status of Building Committee Projects and Pre-FY20 Projects**

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*(as of January 31 2022)*

	<b>Available Balance</b>
<b>Building Committee Projects</b>	<b>\$2,541,243</b>
- Glenville	\$1,260,637
- New Lebanon	\$1,178,048
- Hamilton Ave	\$99,566
- MISA	\$1,706
<b>FY2018 Projects</b>	<b>\$1,350,494</b>
- Western MS Soil Project	\$1,250,384
<b>FY2019 Projects</b>	<b>\$1,688,617</b>
- OG Generator Project (delayed)	\$471,000
- Central MS Fields (delayed)	\$243,028
- GHS D-Wing Windows (delayed)	\$206,980

## Status of Building Committee Projects

<u>Project</u>	<u>Total Project Cost</u>	<u>Reimbursed To Date</u>	<u>Reimbursement Outstanding</u>
MISA	\$45,795,051	\$4,018,815	\$4,314,932
Hamilton Ave	\$30,109,189	\$3,504,443	\$1,864,024
Glenville	\$24,997,411		
New Lebanon	\$36,240,167	\$17,702,359	\$5,661,706

## Greenwich Board of Education - Potential Annual Infrastructure Elimination

### Potential Annual Infrastructure Elimination If Major Projects Are Funded In Next Five Years

	<u>2023</u>	<u>2024</u>	<u>2025</u>	<u>2026</u>	<u>2027</u>	<u>Five Year</u>
<b>Old Greenwich</b>						
Budget Book	\$558,000	\$744,000	\$1,460,000	\$7,670,000	\$493,000	\$10,925,000
Potential Elimination	(\$236,000)	(\$739,000)	(\$377,000)	(\$5,918,000)	(\$67,000)	(\$7,337,000)
Total After Elimination	\$322,000	\$5,000	\$1,083,000	\$1,752,000	\$426,000	\$3,588,000
% Eliminated	-42%	-99%	-26%	-77%	-14%	-67%
<b>Julian Curtiss</b>						
Budget Book	\$2,299,000	\$1,489,000	\$3,432,000	\$237,000	\$372,000	\$7,829,000
Potential Elimination	(\$843,000)	(\$1,232,000)	(\$3,243,000)	(\$229,000)	(\$364,000)	(\$5,911,000)
Total After Elimination	\$1,456,000	\$257,000	\$189,000	\$8,000	\$8,000	\$1,918,000
% Eliminated	-37%	-83%	-94%	-97%	-98%	-76%
<b>Central Middle</b>						
Budget Book	\$4,522,000	\$16,834,000	\$10,276,000	\$3,512,000	\$1,321,000	\$36,465,000
Potential Elimination	(\$898,000)	(\$16,493,000)	(\$9,950,000)	(\$3,493,000)	(\$1,302,000)	(\$32,136,000)
Total After Elimination	\$3,624,000	\$341,000	\$326,000	\$19,000	\$19,000	\$4,329,000
% Eliminated	-20%	-98%	-97%	-99%	-99%	-88%
<b>Total OG/JC/CMS</b>						
Budget Book	\$7,379,000	\$19,067,000	\$15,168,000	\$11,419,000	\$2,186,000	\$55,219,000
Potential Elimination	(\$1,977,000)	(\$18,464,000)	(\$13,570,000)	(\$9,640,000)	(\$1,733,000)	(\$45,384,000)
Total After Elimination	\$5,402,000	\$603,000	\$1,598,000	\$1,779,000	\$453,000	\$9,835,000
% Eliminated	-27%	-97%	-89%	-84%	-79%	-82%

TOTAL ELIMINATION  
PARTIAL

Projects by Location and Class		2023	2024	2025	2026	2027 Grand Total
Annual Infrastructure and Facility Improvements		26,159,621	67,900,300	58,675,000	23,830,300	202,395,221
CC		479,000	873,000	291,000	1,851,000	3,889,000
Building Envelope - Exterior Masonry			520,000			520,000
Building Envelope - Roof					1,576,000	1,576,000
Building Envelope - Windows and Doors			114,000			114,000
Interior - Ceilings and Lighting			227,000			227,000
Interiors - Finishes - Painting and Flooring			12,000	12,000	75,000	112,000
MEP - Generator					382,000	382,000
MEP - HVAC		293,000				493,000
MEP - Life Safety Systems		186,000			200,000	186,000
MEP - Plumbing and Electrical				279,000		279,000
CMS		3624K	16,834,000	10,276,000	3,512,000	36,465,000
Building Envelope - Exterior Masonry		2,971,000			591,000	3,562,000
Building Envelope - Roof			227,000	695,000		922,000
Building Envelope - Windows and Doors		100K	3,941,000	3,864,000	1,261,000	9,259,000
Exterior - Program Space			114,000			114,000
Exterior - Stairs and Ramps			48,000		109,000	157,000
Furnishings		130,000	530,000			660,000
Interior - Ceilings and Lighting		250K				819,000
Interior - Locker Room Renovation			649,000			649,000
Interior - Other Minor Renovations		45K	455,000	294,000	946,000	1,940,000
Interior - Restroom Renovation						
Interiors - Finishes - Painting and Flooring		8,000	18,000	19,000	19,000	83,000
Interiors - Renovate Gymnasium			48,000			48,000
MEP - Generator				307,000		307,000
MEP - HVAC		20K	10,069,000	5,097,000		16,194,000
MEP - Life Safety Systems			53,000			53,000
MEP - Plumbing and Electrical		100K			586,000	1,016,000
Vertical Transportation						682,000
DIST						
Abatement		671,621	267,000	846,000	274,000	2,341,621
Building Envelope - Roof		74,000	76,000	77,000	79,000	386,000
Custodial / Maintenance Equipment		21,000	21,000	22,000	22,000	109,000
		38,621				38,621



Projects by Location and Class		2023	2024	2025	2026	2027 Grand Total
ISD		1,025,000	1,894,000	681,000	118,000	5,356,000
Building Envelope - Exterior Masonry					110,000	110,000
Building Envelope - Roof			1,886,000			1,886,000
Building Envelope - Windows and Doors				68,000		68,000
Exterior - Playground Replacement		218,000		54,000		272,000
Exterior - Program Space					56,000	56,000
Furnishings					1,479,000	1,479,000
Interior - Ceilings and Lighting						-
Interiors - Finishes - Painting and Flooring		7,000	8,000	8,000	8,000	39,000
MEP - Generator				215,000		215,000
MEP - HVAC		792,000		175,000		1,062,000
MEP - Plumbing and Electrical		8,000		161,000		169,000
JC		1456K	1,489,000	3,432,000	237,000	7,829,000
Building Envelope - Exterior Masonry					210,000	210,000
Building Envelope - Windows and Doors		289,000	91,000			380,000
Exterior - Other (Lighting, Paving, Painting)		111,000				111,000
Exterior - Stairs and Ramps			45,000	68,000		113,000
Interior - Ceilings and Lighting		670,000				670,000
Interior - Other Minor Renovations			345,000			645,000
Interior - Restroom Renovation		100,000	204,000			304,000
Interiors - Finishes - Painting and Flooring		7,000	8,000	8,000	8,000	39,000
MEP - Generator				181,000		181,000
MEP - HVAC		20K		3,175,000		3,418,000
MEP - Life Safety Systems		48,000				48,000
MEP - Plumbing and Electrical		500K				914,000
Vertical Transportation			796,000		19,000	796,000
NL						
Interiors - Finishes - Painting and Flooring		252,000	8,000	8,000	8,000	284,000
MEP - HVAC		7,000	8,000	8,000	8,000	39,000
		245,000				245,000
NM		625,000	1,768,000	3,374,000	2,682,300	8,843,300
Abatement			379,000			379,000
Building Envelope - Exterior Masonry					225,000	225,000
Building Envelope - Roof				2,318,000		2,318,000



Projects by Location and Class		2023	2024	2025	2026	2027 Grand Total
Building Envelope - Windows and Doors						
Exterior - Other (Lighting, Paving, Painting)		45,000			1,989,000	1,989,000
Exterior - Stairs and Ramps					79,000	79,000
Furnishings				386,000		386,000
Interior - Ceilings and Lighting		130,000				130,000
Interior - Other Minor Renovations				196,000	347,000	929,000
Interiors - Finishes - Painting and Flooring		7,000	202,000	8,000	8,000	233,000
MEP - Emergency Lighting			61,000			61,000
MEP - Generator		129,000				129,000
MEP - HVAC		243,000	935,000	466,000		1,644,000
MEP - Plumbing and Electrical		71,000	191,000		34,300	296,300
NS		601,000	1,332,000	278,000	1,762,000	6,023,000
Building Envelope - Exterior Masonry			35,000			35,000
Building Envelope - Windows and Doors			109,000			109,000
Exterior - Drainage				155,000		155,000
Exterior - Playground Replacement			53,000		402,000	557,000
Exterior - Stairs and Ramps		275,000				53,000
Furnishings						275,000
Interior - Ceilings and Lighting		290,000			1,479,000	1,479,000
Interior - Other Minor Renovations			628,000		709,000	290,000
Interiors - Finishes - Painting and Flooring			46,000	35,000	8,000	1,337,000
Interiors - Finishes after HVAC		36,000				97,000
MEP - Generator					313,000	36,000
MEP - HVAC			243,000			313,000
MEP - Life Safety Systems					732,000	243,000
MEP - Plumbing and Electrical			218,000	88,000		853,000
OG		322 K	744,000	1,460,000	7,670,000	346,000
Building Envelope - Exterior Masonry		558,000	102,000		87,000	10,925,000
Building Envelope - Windows and Doors		31,000				220,000
Exterior - amenities and furnishings				1162 K	2,162,000	2,162,000
Exterior - Other (Lighting, Paving, Painting)			114,000	146,000	11,000	11,000
Exterior - Playground Replacement					217,000	260,000
Exterior - Program Space					56,000	217,000
						56,000

Projects by Location and Class		2023	2024	2025	2026	2027 Grand Total
06 CONT'D	Exterior - Stairs and Ramps			464,000	25,000	489,000
	Furnishings			386,000		386,000
	Interior - Other Minor Renovations				945,000	945,000
	Interiors - Finishes - Painting and Flooring				8,000	29,000
	MEP - HVAC	5,000	5,000	5,000	6,000	29,000
	MEP - Plumbing and Electrical	20K 225,000	20K 251,000	20K 251,000	3,881,000	4,357,000
	Vertical Transportation	297,000	523,000	208,000	564,000	1,270,000
	PW	108,000	10,901,000	291,000	382,000	12,060,000
	Building Envelope - Exterior Masonry		91,000			91,000
	Building Envelope - Windows and Doors		5,649,000			5,649,000
	Exterior - Other (Lighting, Paving, Painting)		189,000			189,000
	Exterior - Playground Replacement					217,000
	Furnishings		379,000			379,000
	Interior - Other Minor Renovations		1,046,000			1,046,000
	Interiors - Finishes - Painting and Flooring	7,000	8,000	8,000	51,000	82,000
RV	MEP - Emergency Lighting	53,000				53,000
	MEP - Generator					89,000
	MEP - HVAC	48,000	3,531,000		331,000	3,862,000
	MEP - Life Safety Systems					48,000
	MEP - Plumbing and Electrical		8,000	283,000		355,000
	Building Envelope - Exterior Masonry	362,000	3,776,000	1,730,000	2,498,000	9,167,000
	Building Envelope - Roof		2,171,000		1,931,000	4,102,000
	Building Envelope - Windows and Doors			155,000		155,000
	Exterior - Other (Lighting, Paving, Painting)	74,000				331,000
	Exterior - Playground Replacement					150,000
	Exterior - Program Space				150,000	150,000
	Exterior - Stairs and Ramps					56,000
	Furnishings		53,000	70,000		123,000
	Interior - Other Minor Renovations		379,000			379,000
	Interior - Restroom Renovation		405,000	1,140,000		1,545,000
	Interiors - Finishes - Painting and Flooring	7,000	8,000	8,000	8,000	312,000
	MEP - Generator					39,000
						319,000

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# Greenwich Central Middle School Systems Evaluation



Submitted to:

**Daniel Watson**

Director of School Facilities  
Greenwich Public Schools  
290 Greenwich Avenue  
Greenwich, CT 06830

[daniel\\_watson@greenwich.k12.ct.us](mailto:daniel_watson@greenwich.k12.ct.us)

Submitted by:

**Diversified Technology Consultants, Inc.**  
2321 Whitney Avenue, Suite 303  
Hamden, CT 06518

DTC Project No. 17501.B07



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January 28, 2022

Mr. Daniel Watson  
Director of School Facilities  
Greenwich Public Schools  
290 Greewich Avenue  
Greewich, CT 06830

**SUBJECT: GREENWICH CENTRAL MIDDLE SCHOOL SYSTEMS EVALUATION  
DTC PROJECT NO. 17501**

Dear Mr. Watson:

This provides you with DTC's physical condition assessment of Greenwich Central Middle School located at 8 Indian Rock Lane, Greenwich, CT, per our agreement of December 12, 2021. DTC's assessment focuses on architectural, structural, mechanical, electrical, plumbing conditions, and includes major and minor deferred maintenance activities. Our team includes Martin Benassi of Martin A. Benassi, AIA – Architect, LLC, for architectural and water proofing, and Martin Surveying Associates, LLC, for survey and monitoring of movement in existing facades.

The report is organized in (4) sections:

1. Architectural / Water Proofing
2. Structural / Wall Movement Monitoring
3. Mechanical
4. Electrical
5. Plumbing

### **Executive Summary**

The original building is a 1 and 2 story structural steel masonry structure that was constructed in 1958. It has a partial full basement that serves for utility, emergency power, and plenum. A smaller addition was constructed sometime after 1999. Design details and as-built conditions of the original building do not take into consideration best practices making it prone to water infiltration and structural damage. Many of the MEP systems are beyond service life. Generally the facility does not conform to current CT Building Code standards.

There are significant structural concerns. By design the taller masonry walls have insufficient lateral bracing for wind and seismic loads. This results in bowing and displacement of the masonry walls and adjoining facades. Wall ties that connect façades to masonry walls are beyond service life and failing, and this poses safety concern as discussed in more detail under the structural section. The original design permits significant water infiltration into the building. We did not

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conduct destructive testing but it is possible that the extent of water damage may have results in significant deterioration in steel column bearing plates imbedded in concrete. This can be observed through significant destructive testing or inspection when repairing facades.

Thermal resistance of wall assemblies do not meet energy standards of the CT Building Code. The existing building relies heavily on varied sealants and sealing measures to keep water from infiltrating the building through walls and the roofs.

Mechanical, electrical, and plumbing, (MEP) systems are dated and do not conform to CT Building Code. Significant improvement to the facility would necessitate improving these facilities. Retrofit improvements to mechanical and electrical systems are practical and may involve structural improvements. Retrofit improvements to plumbing, particularly buried piping in slabs on grade, are more problematic.

Please call or email me if you have any questions or need additional information. My cell phone number is (603) 400-5455, and my email is [cory.attra@teamdtt.com](mailto:cory.attra@teamdtt.com).

Sincerely,



B. Cory Attra, PE, SI, MBA, M.ASCE  
Chief Engineer in Responsible Charge

**DTC, INC.**

Enclosure: Reports

cc: Shay Atluru, President, DTC  
Graham Curtis, PE, LEED

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TABLE OF CONTENTS

PAGE NO.

ARCHITECT'S FIELD REPORT

INTRODUCTION .....	1
OBSERVATIONS AND EVALUATIONS .....	2
RECOMMENDATIONS .....	6
STRUCTURAL .....	23
MONITORING OF EXISTING FAÇADE MOVEMENT.....	25
MECHANICAL .....	49
PROPERTY DETAILS .....	49
SCOPE OF WORK .....	50
EXISTING MECHANICAL SYSTEMS .....	50
ELECTRICAL .....	65
PLUMBING .....	76



# ARCHITECT'S FIELD REPORT

☒ OWNER    ☒ ARCHITECT    ☐ CONTRACTOR    ☐ FIELD

PROJECT: Facade and Roof Evaluation  
Central Middle School  
9 Indian Rock Lane  
Greenwich, CT

PROJECT NO.: 21-23

CONTRACT: Diversified Technology Consultants  
2321 Whitney Avenue, Suite 301  
Hamden, CT 06518

DATE: December 28, 2021    TIME: n/a    WEATHER: sunny    TEMP. RANGE: 40°F

EST. % OF COMPLETION: n/a    CONFORMANCE WITH SCHEDULE (±): n/a

WORK IN PROGRESS: evaluation    PRESENT AT SITE: Martin A. Benassi    MAB Architect  
Jim Harding    MAB Architect

## INTRODUCTION

### 1. History:

- A. We received a telephone call from Graham Curtis, P.E., of DTC on September 27<sup>th</sup> requesting a proposal to perform a facade evaluation of the Central Middle School, Greenwich, Connecticut. A proposal outlining our services dated September 28, 2021 was submitted to DTC and accepted; and an Agreement was signed on November 15, 2021.
- 1) A request was made to evaluate the existing roofing system, as well. A proposal for this service dated November 16, 2021 was submitted to DTC and accepted; and a Sub-Agreement was signed on January 3, 2022.
- B. This was to be a visual, non-destructive type of evaluation based on our site visit. No openings were taken to examine or verify roof or exterior wall construction. Existing materials should be tested for hazardous content such as asbestos or PCB.
- C. Existing construction documents were provided for our use including:
- 1) 830-3 Gym and Locker Room  
2) 1957 Central Junior High School  
3) 1958 Planting Plan  
4) 1973 Upgrading of Heat Generating Plant  
5) 1980 BOE Central Junior High School  
6) 1986 Handicap Toilet Room  
7) 1987 Subsurface Drainage System  
8) 1998 Additions and Renovations to Central Middle School  
9) 2006 Roof Replacement  
10) 2008 Bathroom Renovations  
11) Central Middle School District  
12) New Boiler Room and Drains
- D. A site visit was made on Tuesday, December 28<sup>th</sup> to walk the site and document existing conditions. Present at that time were Martin Benassi and Jim Harding of MAB Architect. Field measurements, photographs, and sketches were made to be used in preparation of this Field Report, some of which are attached.

### 2. Building History:

- A. The building was originally constructed in 1957 and has a footprint of approximately 80,359 square feet. Numerous additions and renovations have been made to the building over the years, including the roofing system in 2006; and window and door replacement in 1980.



3. **Format:**

- A. This survey is organized into sections including: Introduction, Observations and Evaluations, and Recommendations.

The *INTRODUCTION* contains a concise history of the project from commission through site visit(s) including dates, times, and personnel involved.

The *OBSERVATIONS AND EVALUATIONS* section summarizes the conditions that existed at the time of the site visit and identifies the probable causes of damage and failure. Also included are the appropriate photographs taken during the site visits, which we identify and describe in the accompanying text.

In the *RECOMMENDATIONS* section, we provide what are in our opinion the most cost-effective solutions for the problem areas found. Alternatives may also be included if there is the possibility that the main recommendations cannot be followed.

- B. This Report, including all of its appendixes, is **NOT FOR CONSTRUCTION** and was prepared for the sole use by the Client, building Owner, and Architect.

**OBSERVATIONS AND EVALUATIONS**

1. **General:**

- A. The original building is a low-slope roof on a steel-frame structure with masonry and curtain wall in-fill. Some of the original construction detailing is questionable by today's standards, resulting in continuous maintenance issues including:

- 1) The 4x6 exposed steel columns bearing plate is covered in a concrete sill which, in some locations, is close to or below grade.
- 2) Finish floor slab elevation and window sill are close to finish grade along some elevations.
- 3) Expansion joints are not continuous.
- 4) Building has poor thermal resistance value in both the walls and roof construction with limited insulation and lack of any thermal break between materials.
- 5) Initial building design relies heavily upon sealant to keep moisture out.

- B. In general, the building is 65 years old and shows signs of aging in almost all elements.

2. **Masonry Wall Construction:**

- A. Exterior masonry walls are of either 10" (4" CMU - 2" gap - 4" CMU) or 12" (6" CMU - 2" gap - 4" CMU) cavity wall construction with continuous standard wall ties located 16" on center vertically and a total height at some locations of over 20 feet. Deficiencies observed in the exterior walls include:

- 1) There are numerous cracks occurring at various locations such as the auditorium and gymnasium walls, with some previously repaired using mortar or sealant.
- 2) Displacement of CMU blocks, most noticeably along the roof line and corners. This is most likely due to water infiltration from roof flashing. Details indicate a lack of reinforcement anchoring the CMU back to the structure at the roof line.
- 3) Vertical displacement or bowing of over 5" in the exterior CMU wall at the gymnasium.

- 4) Staining of the CMU along the north elevation of the media/computer wing. "Special coating" was applied to the concrete sills as part of the window replacement project in 1980. The CMU may have been coated or painted with the same product.
  - 5) Emseal® compressible seal is used to fill the vertical expansion joints. The material appears to be performing as intended. However, gaps were observed at the roof/wall transition. See comment below under roofing.
  - 6) Twenty feet is nearing the limit for cavity wall construction without horizontal anchoring. A structural engineer should review this design.
- B. There was no efflorescence observed. However, this may be due to ongoing maintenance and painting of the CMU.
- 1) Efflorescence is a crystalline deposit of salts observed on the surface of masonry. It occurs when water leaves behind salt deposits and is present on or in the masonry surface. Efflorescence is a sign of moisture entry into the wall. In general, masonry will not allow enough moisture through to cause extensive efflorescence to occur. Water which does penetrate the wall (through defective CMU, brick, mortar joints, hairline cracks between mortar and brick, defective roofing and flashing) will then travel through the substrate and leach out, leaving salt deposits on the face of the masonry wall.
- C. Weep holes are designed for two purposes. First, it provides an opening to allow water to drain out through the bottom of the wall or above openings along the lintel / flashing. Secondly, it is intended to allow ventilating air to enter the gap within the wall to help dry the structure. A limited number of weeps were observed above the base flashing. Some may have been removed or sealed over during the roof replacement project.

### 3. Sealant/Caulking:

- A. Initial building design relies heavily upon sealant to keep moisture out. This is obvious at the vertical and corner joints of the auditorium wing. A bent metal strip was surface applied in an attempt to better seal the joint.
- B. Drawings indicate structural steel columns spaced at 8-foot on-center with "caulking in 1/4" x 3/4" tooled joint all around column." As the sealant dries out, cohesive failure occurs, permitting water penetration. This results in spalling of the masonry and concrete along with rusting of the steel reinforcement.
- C. There are two main classifications of building joints: Static and dynamic. Static joints are those where the joint is non-moving, such as the sealing of window sills and jambs. Dynamic joints are those which experience movement through expansion or contraction.
- D. Most of the sealant failure observed is cohesive. This is especially true around columns, windows, and doors.
- E. The best sealant for most applications would be one with a high Class Rating to withstand the movement between the different substrates, is a single component, is non-sagging, and can adhere to as many different Use Groups as possible (such as a one-part natural silicone sealant). The life expectancy of a high grade sealant is approximately eight years.

### 4. Roofing:

- A. There are three different types of roofing systems currently on the building (see attached Roof Plan and photos):

- 1) Liquid applied - 280 SF
- 2) Modified Bitumen Membrane (MBR) - 71,415 SF
- 3) Single-Ply Membrane (TPO) - 8,664 SF

B. MBR:

- 1) According to the 2006 Construction Drawings prepared by Marc Caputo Roof Consultant, the existing roofing material was removed down to the gypsum deck and the new roof assembly installed as follows:
  - Gypsum decking
  - Temporary roofing - nailed
  - Vapor barrier
  - Tapered insulation and overlay
  - Two layers SBS roofing
- 2) Additional wood blocking and sheet metal was installed to adjust for increase thickness of insulation.
- 3) A copper-clad SBS membrane was used for base and edge flashing.
- 4) Liquid membrane was used at some of the roof drains and stack vents for flashing.
- 5) There were numerous blisters and ridging of the membrane observed throughout the roof area.
- 6) The membrane itself is showing signs of aging and alligatoring.
- 7) There is a pre-fabricated aluminum sheet metal cover on the expansion joints. The expansion joint does not extend continuous to the fascia.
- 8) A barrel roof on the northwest media center/computer wing is covered with the SBS membrane. Original material is unknown.

C. Liquid Applied Roofing:

- 1) A fluid applied coating was applied to the saw-tooth concrete entry canopy. Excessive debris and trash was observed at the low point. Plant growth and staining of the coating was noted.

D. TPO:

- 1) Thermoplastic polyolefin (TPO) is a type of single-ply roofing material that was used on the northwest media center/computer wing of the building. TPO roofing material was introduced in the 1990s as an economical alternative to the more expensive PVC roofing. The membrane is comprised of three bonded layers - a thermoplastic polyolefin base layer, a polyester-reinforced fabric center, and a thermoplastic polyolefin top layer.
- 2) The white membrane helps with the reflective UV and reduces heat gain in the summer months. However, the white membrane fades over time to a dirty gray. Care needs to be taken when walking on the roof as the membrane becomes very slippery when wet or icy.

E. Miscellaneous appurtenance:

- 1) Access onto the roof is through a roof hatch with access to the gymnasium roof via fixed aluminum ladders.
- 2) There are eight small pyramid skylights, various sized mechanical RTU and fans, compressors, antenna, pitch pockets for conduit/piping, stack vents, gas piping, and walkway pads. A rooftop screen hides two RTU mechanical units from view.

**F. Drainage:**

- 1) In general, the roof appears to be draining properly with only minor areas of bird-baths occurring.
- 2) There are 21 roof drains on the main roof. The newer media center/computer wing has 6 roof drains with 6 secondary roof drains per code.

**5. Fenestration:**

- A. Original curtain wall assembly, windows, and doors were replaced in 1980 (42 years). Construction documents prepared by Maitland/Strauss/Behr, Architects PC indicate removal of the existing curtain wall assembly and installation of new aluminum thermally broken insulated units with 1-1/2" insulated panel or 1" insulated glazing. Most appear to be in good condition for their age. However, some leaks have been reported. This may be due to sealant failure and not the window itself.
- B. Overall window dimensions are:
  - 1) Typical panel: 21'-8" high x 8'-0" width, with a pair of 2'-0" x 4'-0" operable awning sashes at each floor.
  - 2) The window frames are standard 2-1/4" thick extruded aluminum.
- C. Issues were observed with exterior doors including:
  - 1) Spalled concrete causing the aluminum threshold to lift, resulting in a tripping hazard.
  - 2) Elevation drop due to settlement of the step/landing.
  - 3) Possible weatherstripping issues (observed from exterior only).
  - 4) Sandbags located around doors - possible water flooding.
- D. Kalwall® translucent panels are installed on the upper portion of the gymnasium wing and "dry glazed" into the framing system. All of the panels are severely faded and are exhibiting what is called "fiber-bloom", which is when the panels deteriorate due to UV degradation, exposing the fiberglass reinforcement. The fiberglass fibers are exposed and the panels have faded to a bleached white color, reducing the amount of light transmission.
  - 1) Use of UV inhibitors in materials to reduce impact of UV solar radiation is recommended by the manufacturer. In most installations, the Owner is not made aware of this requirement or refrains from doing the work due to cost. Our limited research indicates that applying a UV inhibitor to the panels has not proven effective in preventing fiber-bloom on products which are used in outdoor environments on a continuous basis. They also have proven to be a high cost factor.

## **RECOMMENDATIONS**

1. The following recommendations are, in our professional opinion, the most cost-effective solutions for the problem areas found. It is important to note that the building will remain operable throughout the work. This will reflect in the selection of the materials and methods, as well as an increase in the overall cost. Test results for hazardous materials such as asbestos and PCB should be included in any bid-restoration type package so contractors can handle and dispose of the materials accordingly.
2. The following recommendations are in addition to a regularly scheduled maintenance program. We strongly recommend that you retain the services of a licensed roofing contractor to inspect and maintain the roofs and waterproofing membranes a minimum of twice a year. They need to be familiar with the various types of roofing systems on the buildings.
3. If the overall goal is to continue using the facility for its intended use, the ongoing maintenance and repair costs will be high due to age and original construction detailing.
  - A. The existing roofing systems are 16 years or older and nearing the end of their useful life expectancy as earmarked by the numerous blisters and aging of the top-ply membrane. The TPO membrane has faded to a dirty gray and no longer offers the reflective UV resistance of a white membrane. Also, the reinforcement is beginning to show through the surface.
    - 1) We recommend complete replacement of the roofing system at all locations down to the original deck and installation of a new fully-adhered EPDM (ethylene-propylene-diene-monomer) over a tapered rigid insulation system with all new flashing and sheet metal. We recommend the use of lead coated copper for all sheet metal, including expansion joints and fascias.
  - B. Due to the aging of the Kalwall® translucent panels along the gymnasium wing, the amount of light transmission into the space is reduced and the overall appearance questionable.
    - 1) We recommend replacement of the panels with an aluminum energy efficient glazing system including insulated glass with solar film to reduce glare.
  - C. Caulking generally lasts 3 to 5 years before experiencing some type of failure. Because the initial design detailing relies heavily on caulking to keep water out, inspection and repair will be an ongoing maintenance issue.
    - 1) We recommend replacement of all caulking with a one-part natural silicone sealant such as Dow 795 with a followup maintenance and inspection program approximately every 8 years.
  - D. Fenestration including doors, windows, curtain walls, vents, and louvers are over 40 years old and most likely beyond any manufacturer's warranty. Leaks were reported, however the source may be related to defective sealant and not the window unit itself.
    - 1) Only regular maintenance and repair are recommended. Replacement of damaged or defective threshold with a more durable bronze type unit along with patching of spalled concrete as required.
  - E. The observed cracking, bowing, spalling, and displacement of CMU units appear to be an ongoing issue. Studies have been done in the past regarding possible repairs.
    - 1) Any repair or replacement of the CMU walls should include increasing the thermal resistance by adding insulation to the wall assembly. Rigid insulation board can be installed within the cavity or surface applied to the exterior and protected with a cementitious coating.
    - 2) To prevent future cracking of CMU, a properly detailed control joint should be installed at not over 30 feet intervals and at penetrations.

We hope this facade and roof evaluation is as anticipated and helps in your decision-making process. Should you have any questions regarding its contents, please feel free to call us.

**ATTACHMENTS:**      A-1 and A-2 Roof Plan  
                              A-3, A-4, A-5 and A-6 Elevations  
                              Roofing Photos  
                              Masonry Photos  
                              Construction Details

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by:      Martin A. Benassi  
          Martin A. Benassi, AIA - Architect LLC  
          Two Broadway  
          Hamden, CT 06518

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**Photo 1.** Auditorium roof looking north



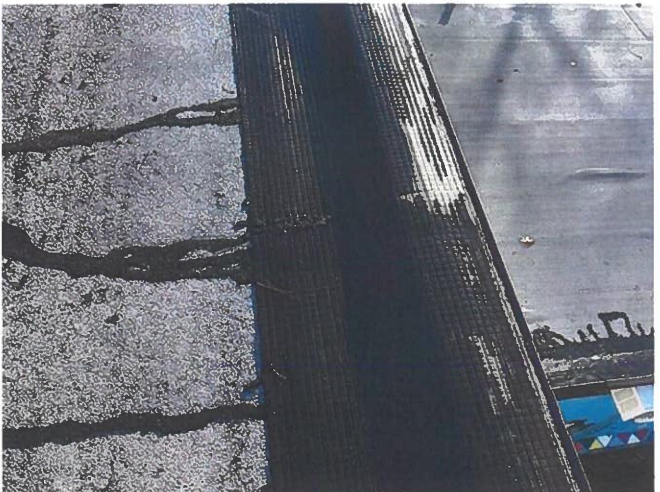
**Photo 2.** Main roof looking north



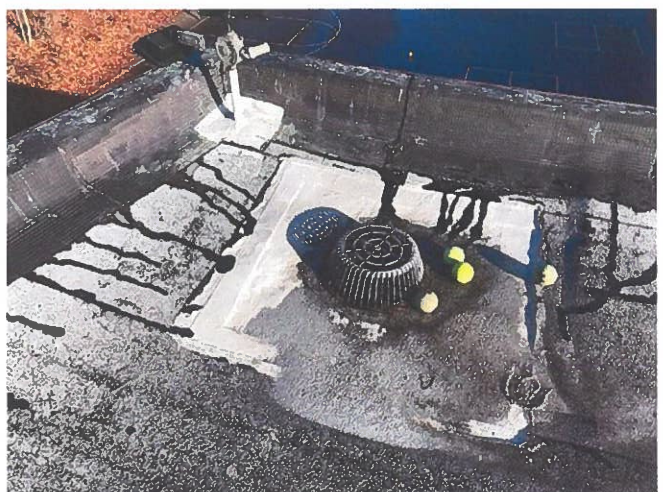
**Photo 3.** Roof Top Unit (RTU) base flashing using SBS membrane



**Photo 4.** Blister and ridging of membrane - typical



**Photo 5.** Typical copper clad edge flashing



**Photo 6.** Typical roof drain flashed in liquid membrane





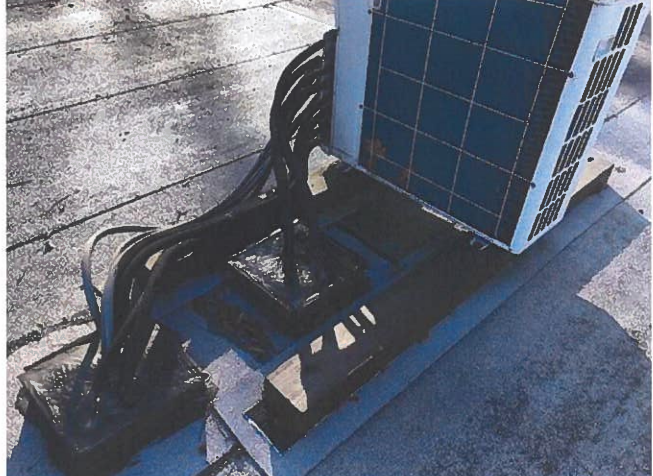
**Photo 7.** Expansion joint with aluminum cover - joint does not continue to roof edge



**Photo 8.** Sawtooth roof at entry with liquid roofing



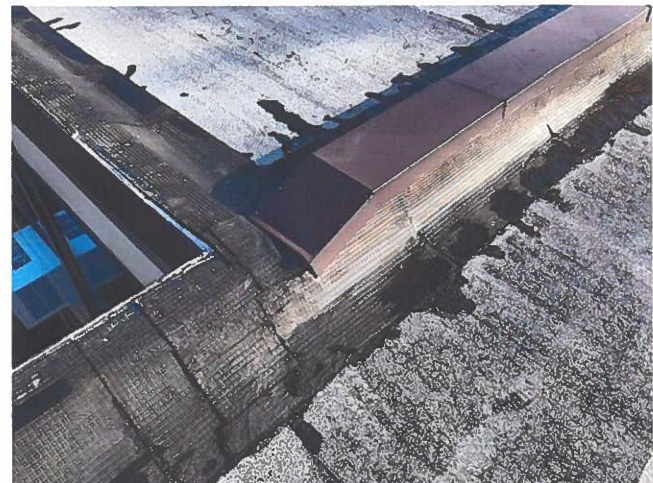
**Photo 9.** Typical skylight on main roof



**Photo 10.** Typical pitch box and condensate unit

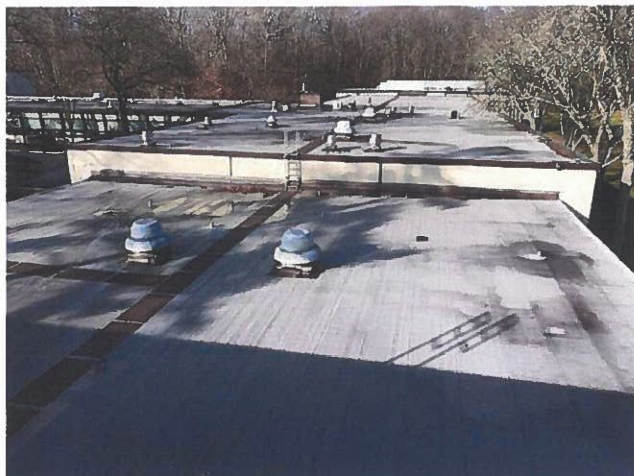


**Photo 11.** Typical rooftop fan unit and stack vent



**Photo 12.** Expansion joint with aluminum cover - joint does not continue to roof edge





**Photo 13.** Overview of main roof looking west



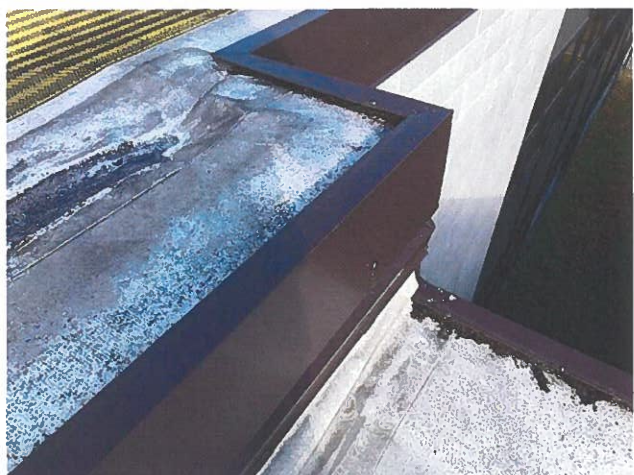
**Photo 14.** Overview of main roof looking east toward gymnasium



**Photo 15.** Masonry chimney



**Photo 16.** Connector to media/computer wing TPO membrane



**Photo 17.** Aluminum fascia for single-ply membrane roofing



**Photo 18.** Media/computer wing with TPO membrane on low-slope roof and SBS roofing on barrel area



**Photo 19.** Typical blister in SBS roofing membrane



**Photo 20.** Metal siding on barrel roof and TPO single-ply membrane on low-slope roof

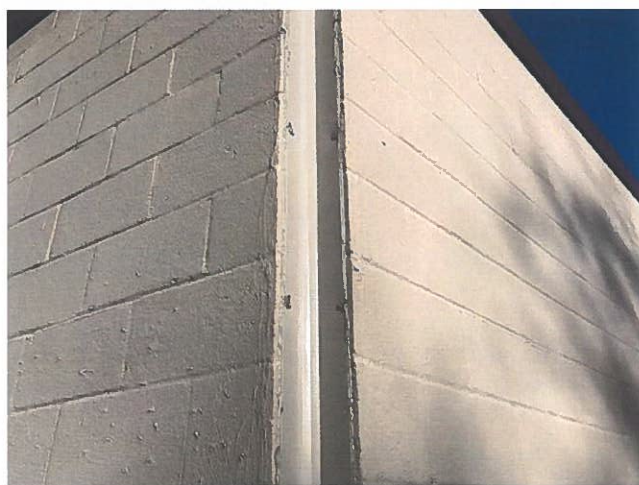




**Photo 21.** Cracks in CMU Auditorium wall



**Photo 22.** Crack in CMU Auditorium wall



**Photo 23.** Corner detail in Auditorium wall with cover plate added



**Photo 24.** Base flashing detail along Auditorium wall



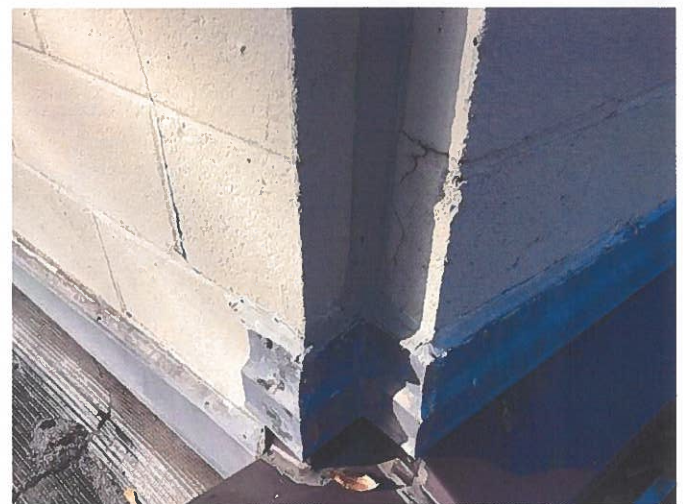
**Photo 25.** Base flashing detail along Auditorium wall with cover plate added to recess



**Photo 26.** Roof line showing cover plate added to recess in Auditorium wall



**Photo 27.** Cracked masonry along recess in Auditorium wall

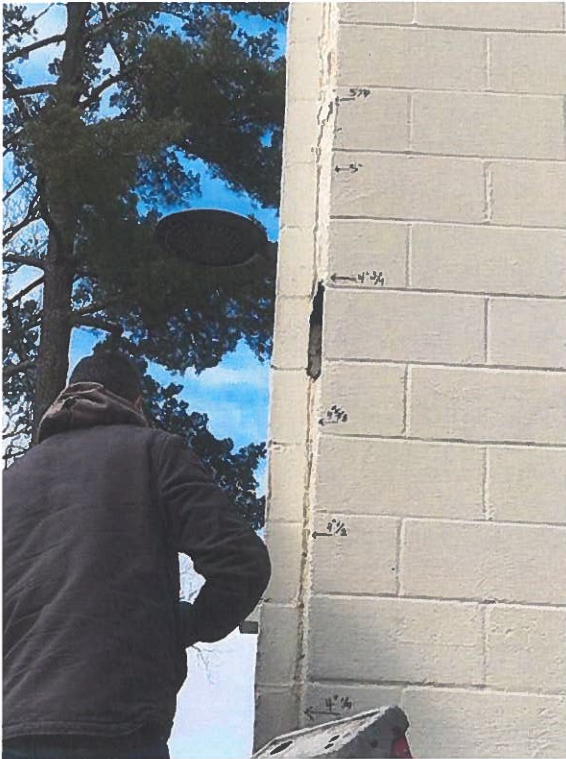


**Photo 28.** Spalled masonry at corner of Auditorium wall along expansion joint



**Photo 29.** Crack in CMU gymnasium wall

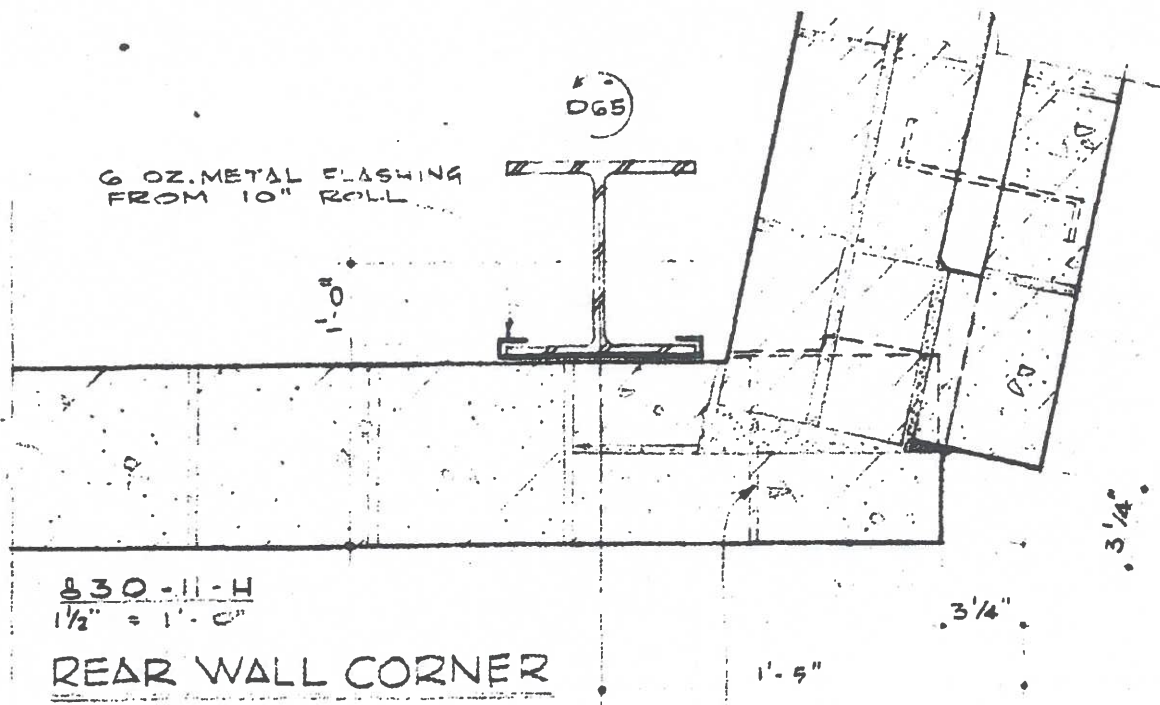




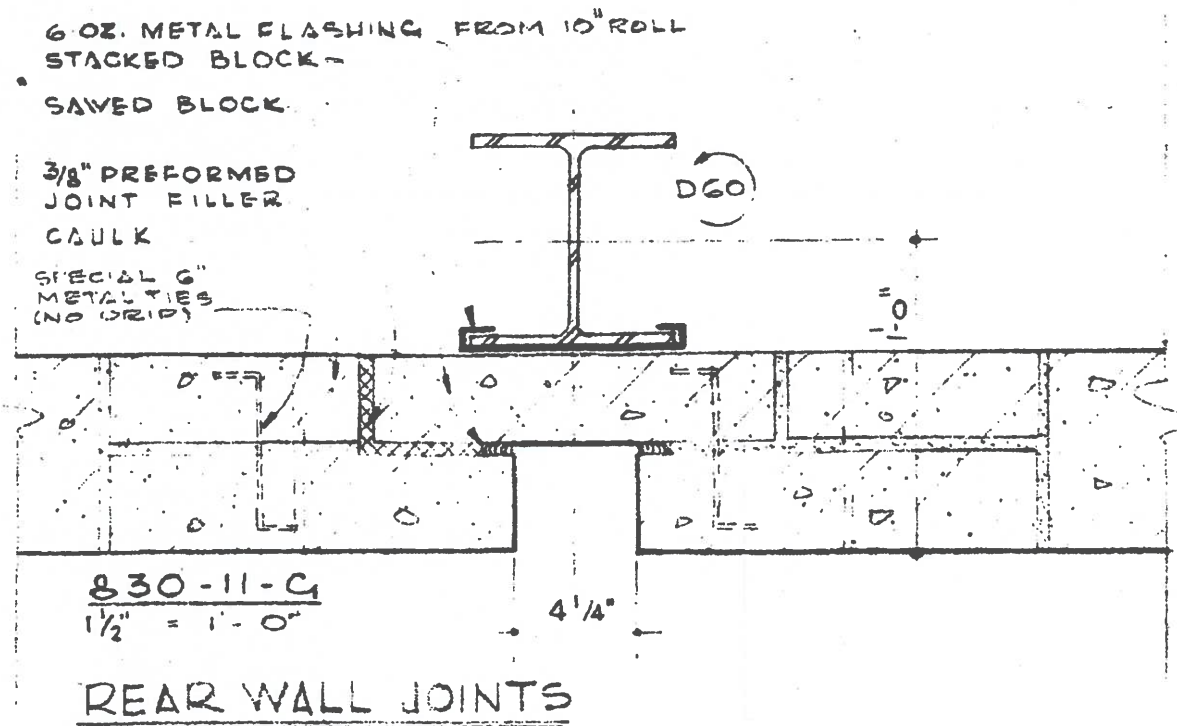
**Photo 30.** Patch at corner of Gymnasium wall - markers showing bow in masonry wall



**Photo 31.** Translucent panels in Gymnasium wall

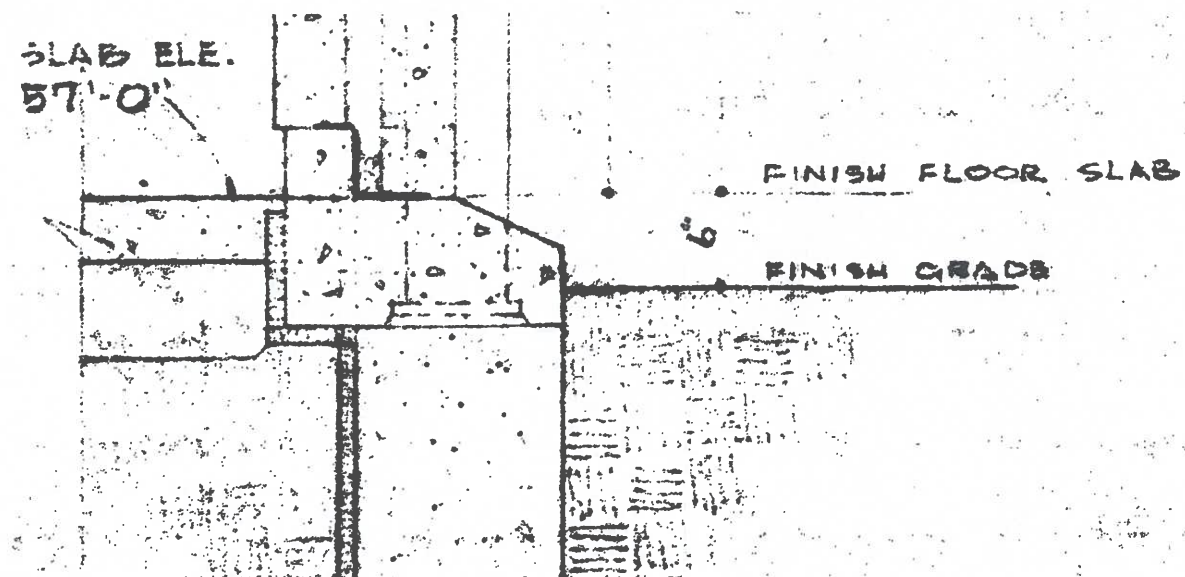


ALTERNATE COURSE SHOWN DOTTED  
Typical detail at corner of Auditorium.

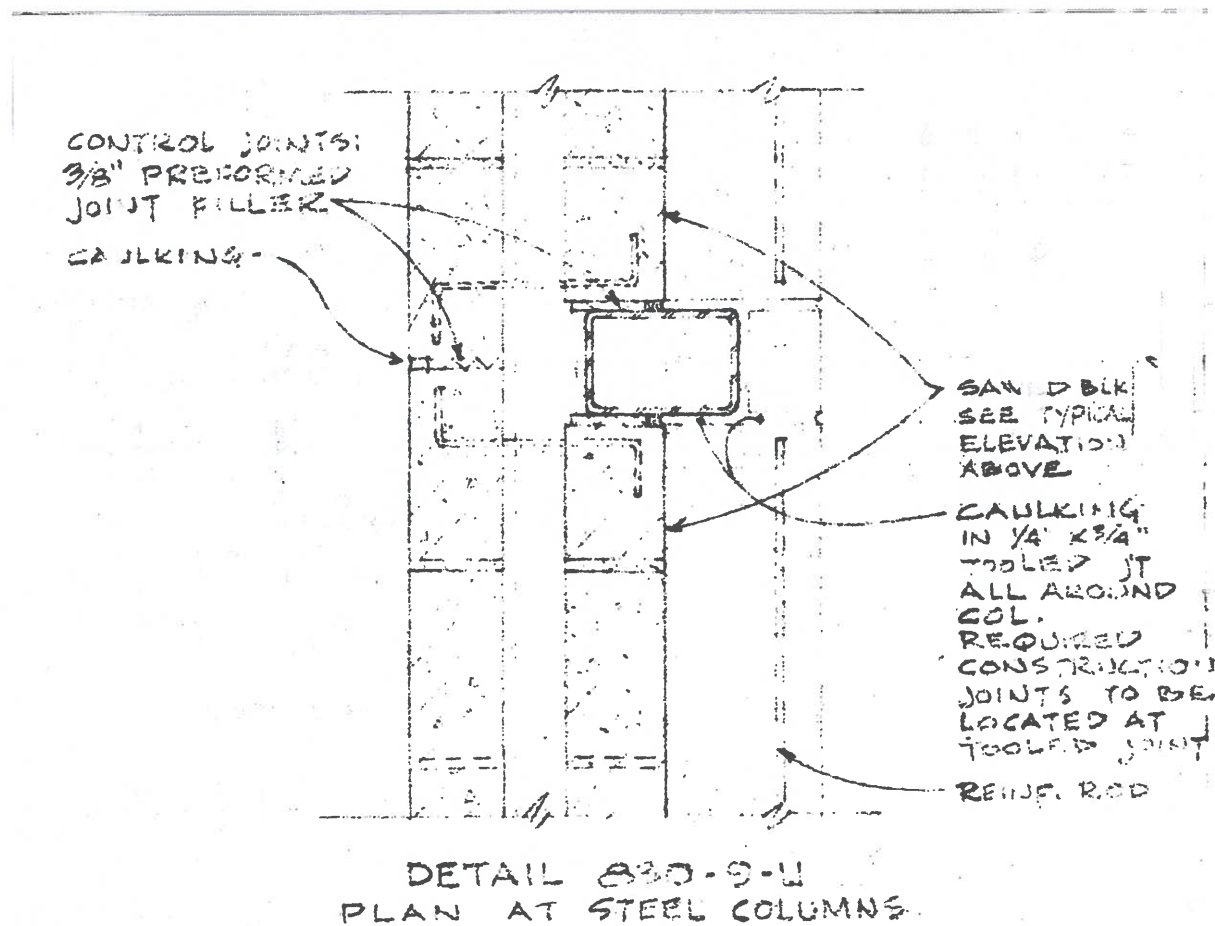


Typical detail of recess in Auditorium wall.

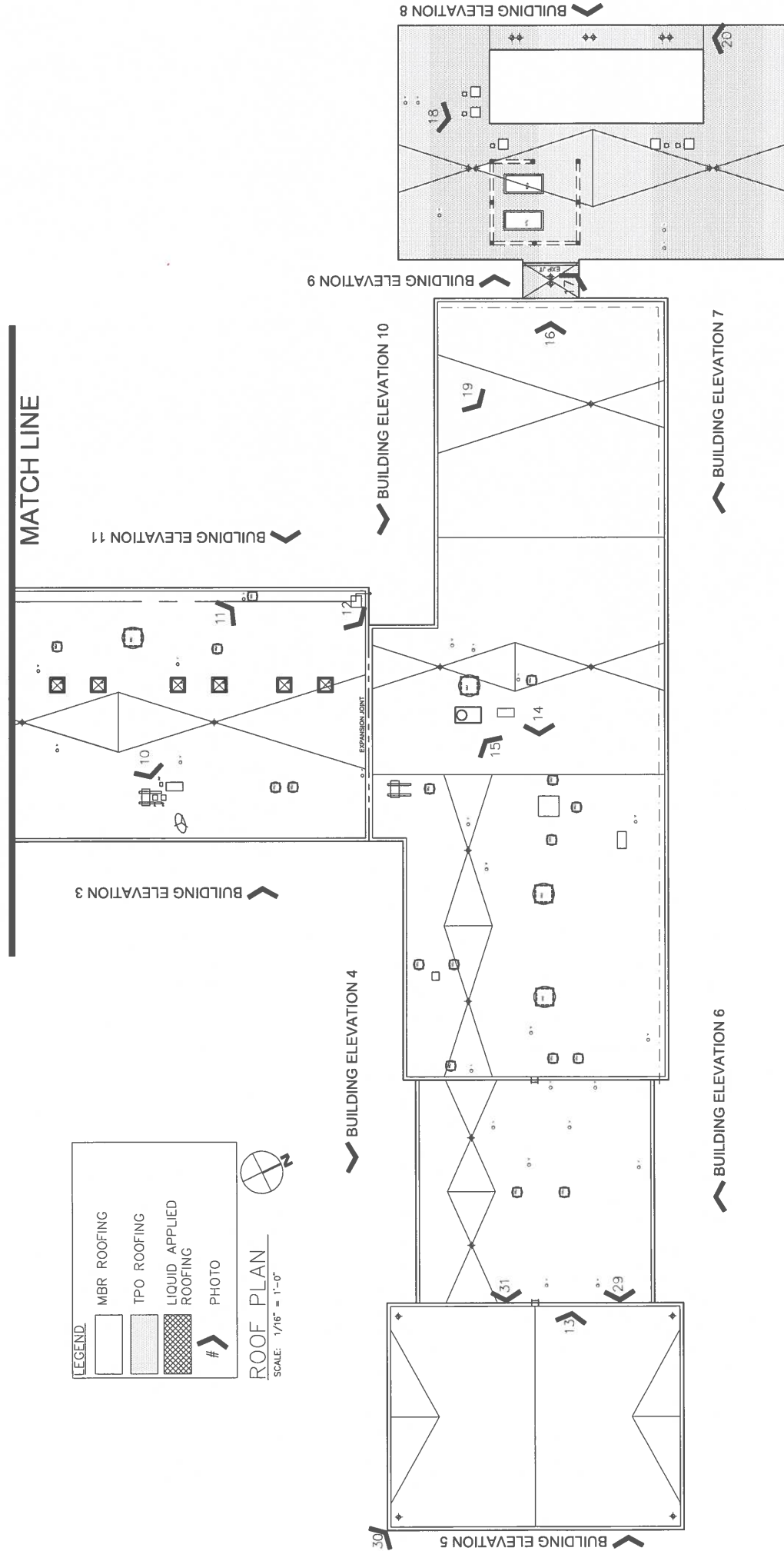




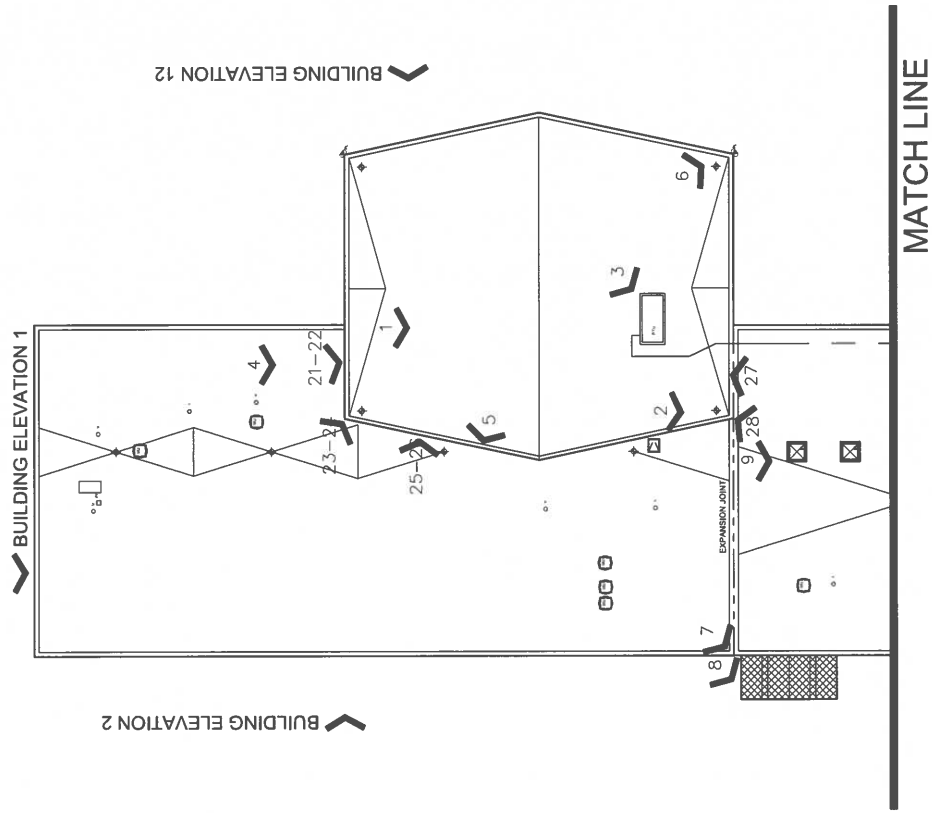
Typical detail at column base and concrete sill.



Typical steel column detail with caulking at perimeter.



CENTRAL MIDDLE SCHOOL ARCHITECT'S FIELD REPORT	
Drawing Prepared By	Date
Martin A. Benassi, AIA	12/28/2021
Architect, LLC	Scale
TWO BROADWAY	—
HAMDEN, CONNECTICUT 06518	Project
Roof and Facade Evaluation	Drawn By
CENTRAL MIDDLE SCHOOL	—
9 INDIAN ROCK LANE	Approved By
GREENWICH, CT	—
Project No.	Drawing No.
21-23	A-1



**LEGEND**

	MBR ROOFING
	TPO ROOFING
	LIQUID APPLIED ROOFING
	PHOTO



**ROOF PLAN**  
SCALE: 1/16" = 1'-0"

CENTRAL MIDDLE SCHOOL ARCHITECT'S FIELD REPORT	
Drawing Prepared By Martin A. Benassi, AIA Architect, LLC TWO BROADWAY HAMDEN, CONNECTICUT 06518	Date 12/28/2021
Project ROOF AND FACADE EVALUATION CENTRAL MIDDLE SCHOOL 9 INDIAN ROCK LANE GREENWICH, CT	Scale —
Drawn By —	Approved By —
Project No. 21-23	Drawing No. A-2



PHOTO 1: TYPICAL DETAIL AT BASE OF STEEL COLUMNS ALONG PERIMETER OF BUILDING SHOWING DETERIORATION OF CONCRETE AND REPAIRS USING SEALANT.



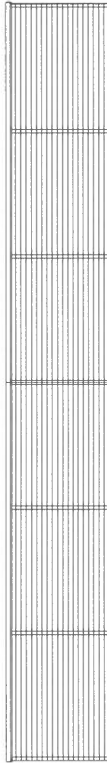
PHOTO 2: TYPICAL FENESTRATION SHOWING EXPOSED STEEL COLUMNS WITH INFILL OF WINDOW WALL SYSTEM AND CONCRETE MASONRY UNITS.



PHOTO 3: MAIN ENTRY CANOPY. NOTE LIQUID FLASHING MATERIAL APPLIED TO TOP SURFACE AND EVIDENCE OF WATER OVERFLOW AT EXPOSED EDGE OF CANOPY.



**1 BUILDING ELEVATION**  
SCALE: 1/8"=1'-0"



**PHOTO 2**

**2 BUILDING ELEVATION**  
SCALE: 1/8"=1'-0"



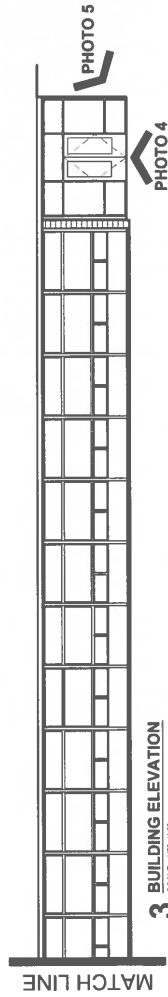
PHOTO 4: TYPICAL RECESSED SIDE ENTRY DOORS.



PHOTO 5: TYPICAL DETERIORATION AT DOOR THRESHOLDS.

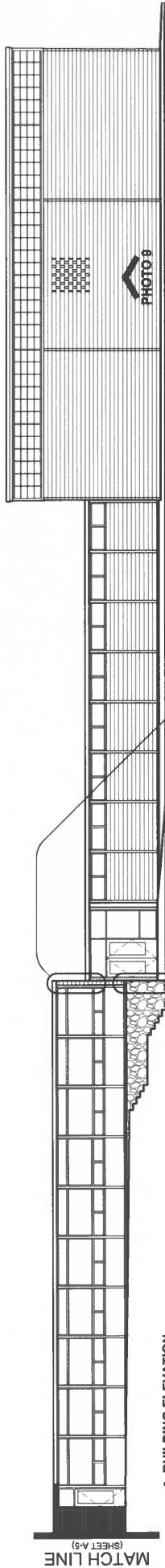


PHOTO 6: EXAMPLE OF TYPICAL METAL EDGE FACIA MATERIAL IN NEED OF REPAIR.



**PHOTO 4**

**3 BUILDING ELEVATION**  
SCALE: 1/8"=1'-0"



**PHOTO 9**

**4 BUILDING ELEVATION**  
SCALE: 1/8"=1'-0"



PHOTO 7: TYPICAL DETERIORATION OF CONCRETE AT BASE OF PERIMETER STEEL COLUMNS ALLOWING FOR RUSTING OF STEEL COLUMN AND CRACKING OF CMU BASE PLATE AND CRACKING OF CMU.



PHOTO 8: VERTICAL CRACK IN CMU WALL. NOTE EVIDENCE OF MOISTURE PENETRATION.

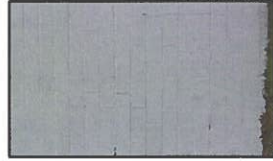
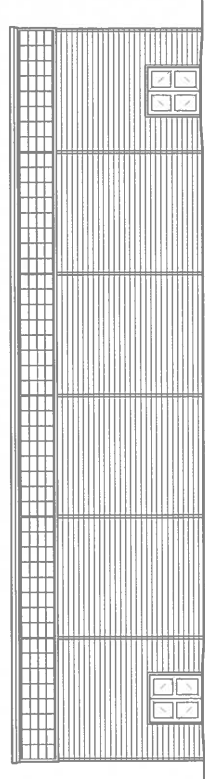


PHOTO 9: TYPICAL HAIR LINE CRACKS IN MASONRY. OBSERVATION INDICATES SEVERAL CRACKS IN MASONRY. SEALANT HAS BEEN APPLIED OVER EXISTING CRACKS.



**5 BUILDING ELEVATION**  
SCALE: 1/8"=1'-0"

CENTRAL MIDDLE SCHOOL ARCHITECT'S FIELD REPORT			
Drawing Prepared By	Date	Drawn By	Approved By
Martin A. Benassi, AIA	12/28/2021	—	—
Architect, LLC	Scale	—	—
TWO BROADWAY	—	—	—
HAMDEN, CONNECTICUT 06518	Project	—	—
Roof and Facade Evaluation	Central Middle School	—	—
9 Indian Rock Lane	Greenwich, CT	—	—
Project No.	Drawing No.	A-3	
21-23	—	—	





PHOTO 10: EXPOSED TYPICAL CRACK WHERE BASE OF MASONRY WALL MEETS CONCRETE FLOOR SLAB.



PHOTO 11: TYPICAL INCORRECT FLASHING DETAIL WHERE ROOF MEETS MASONRY WALL. EDGE OF FLASHING IS EXPOSED WITH OPEN SPACE BETWEEN FLASHING AND MASONRY WALL. NOTE TYPICAL CRACK AT BUILDING CORNER WHERE STEEL STRUCTURE, MASONRY AND ROOF INTERSECT.

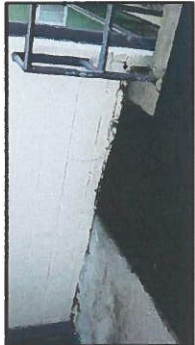


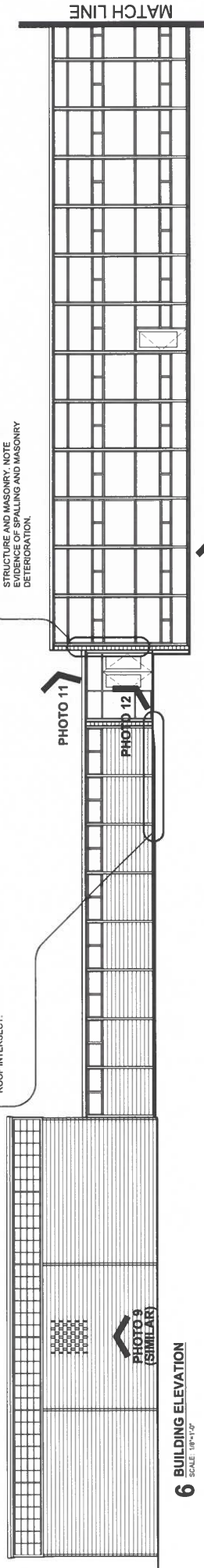
PHOTO 12: BASE OF MASONRY WALL AND ADJACENT SURFACES SHOW EVIDENCE OF SETTLEMENT OF RETAINING WALL AND LANDING.



PHOTO 13: TYPICAL EXAMPLE OF JOINT SEALANT FAILURE BETWEEN STEEL STRUCTURE AND MASONRY WITH EVIDENCE OF SPALLING AND MASONRY DETERIORATION.

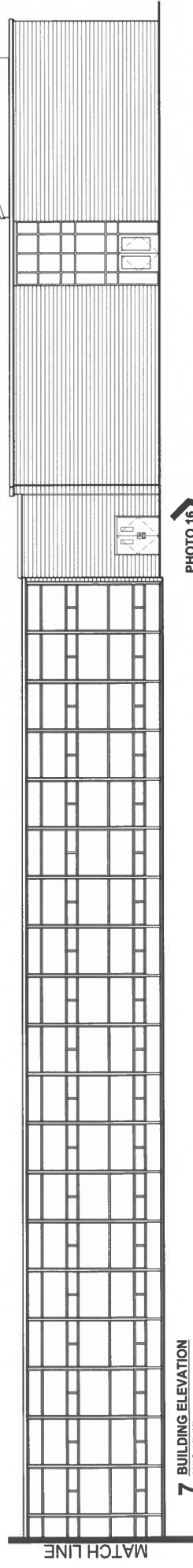


PHOTO 14: THERE ARE LARGE AREAS OF STAINING - PARTICULARLY AT THE NORTHERN FACADES AS SHOWN IN PHOTO.



**6 BUILDING ELEVATION**  
SCALE: 1/8"=1'-0"

PHOTO 14



**7 BUILDING ELEVATION**  
SCALE: 1/8"=1'-0"

PHOTO 16

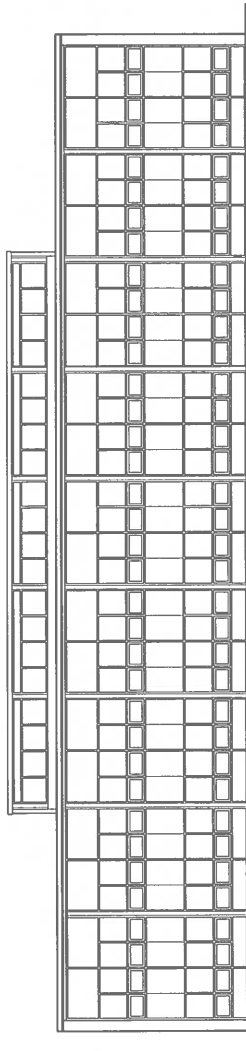


PHOTO 15: NOTE INDICATION OF RUSTING AT METAL PANELS. (TYPICAL).

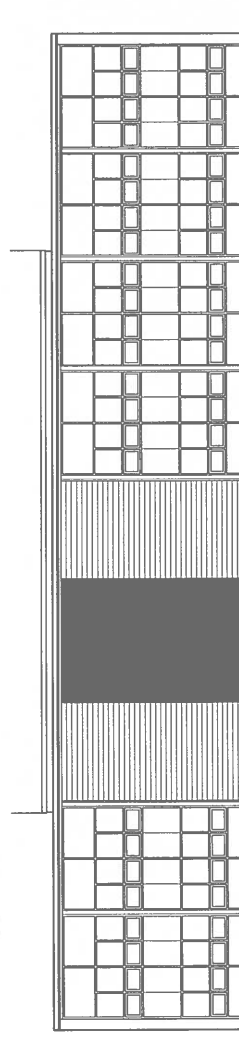


PHOTO 16: LARGE AREAS OF MASONRY STAINING AT MEDIA/COMPUTER WING. STAINING COULD BE EVIDENCE OF IMPROPER OR DEFECTIVE COATING.

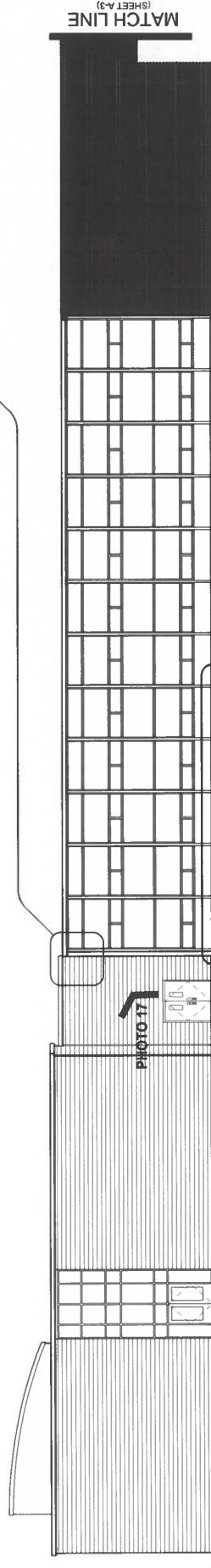
CENTRAL MIDDLE SCHOOL ARCHITECT'S FIELD REPORT	
Drawing Prepared By	Date
Martin A. Benassi, AIA	12/28/2021
Architect, LLC	Scale
TWO BROADWAY	-
HAMDEN, CONNECTICUT 06518	Project
Roof and Facade Evaluation	Drawn By
CENTRAL MIDDLE SCHOOL	-
9 INDIAN ROCK LANE	Approved By
GREENWICH, CT	-
Project No.	Drawing No.
21-23	A-4



**8 BUILDING ELEVATION**  
SCALE: 1/8"=1'-0"



**9 BUILDING ELEVATION**  
SCALE: 1/8"=1'-0"



**10 BUILDING ELEVATION**  
SCALE: 1/8"=1'-0"



PHOTO 18: TYPICAL MASONRY DISPLACEMENT  
ALONG ROOF LINE.



PHOTO 17: GROUT DISPLACEMENT OVER LARGE AREAS  
INDICATE MOVEMENT IN MASONRY.

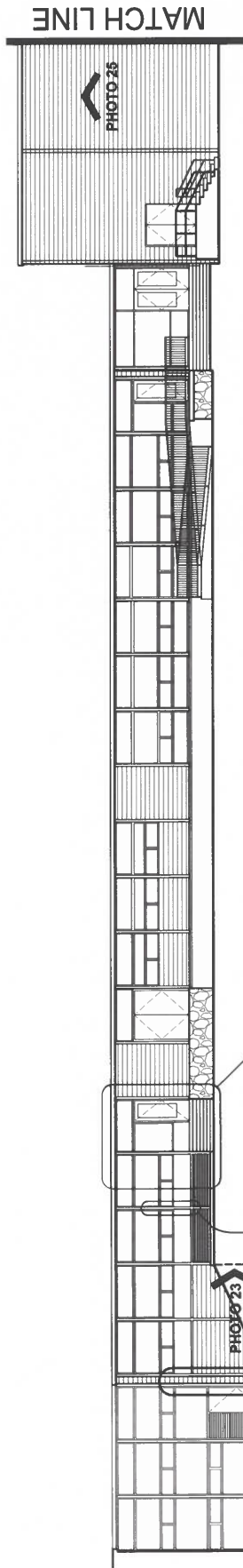


PHOTO 19: EARTH SLOPES TOWARDS SIDE OF BUILDING.  
POSSIBLE WATER INFILTRATION.



PHOTO 20: SANDBAGS CURRENTLY USED TO PREVENT WATER INFILTRATION.  
TYPICALLY ONLY A BEAD OF CAULK PREVENTS WATER INFILTRATION AROUND  
PERIMETER OF BUILDING.

CENTRAL MIDDLE SCHOOL ARCHITECT'S FIELD REPORT		Date	12/28/2021
Drawing Prepared By	Martin A. Benassi, AIA	Scale	-
Architect, LLC	TWO BROADWAY	Drawn By	-
Project	HAMDEN, CONNECTICUT 06518	Approved By	-
	ROOF AND FACADE EVALUATION	Drawing No.	A-5
	CENTRAL MIDDLE SCHOOL		
	9 INDIAN ROCK LANE		
	GREENWICH, CT		
Project No.	21-23		



**11 BUILDING ELEVATION**  
SCALE: 1/8"=1'-0"



PHOTO 21: TYPICAL DETERIORATION OF JOINT BETWEEN MASONRY AND STRUCTURAL STEEL.

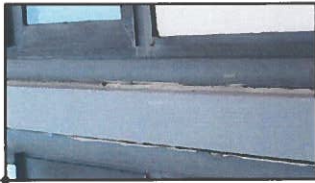


PHOTO 22: TYPICAL DETERIORATION OF JOINT BETWEEN WINDOW WALL SYSTEM AND STRUCTURAL STEEL.



PHOTO 23: WIDENING OF CONTROL JOINT INDICATES MOVEMENT IN MASONRY OR SETTLING, TYPICAL ADJACENT TO BUILDING.



PHOTO 24: DETERIORATION OF STONEWORK, CONCRETE, RAILINGS, ETC. ARE EXAMPLES OF TYPICAL CONDITIONS FOR APPURTENANCES ON STRUCTURE.

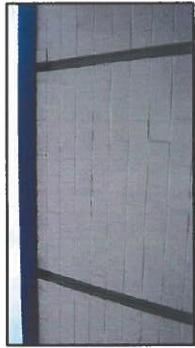
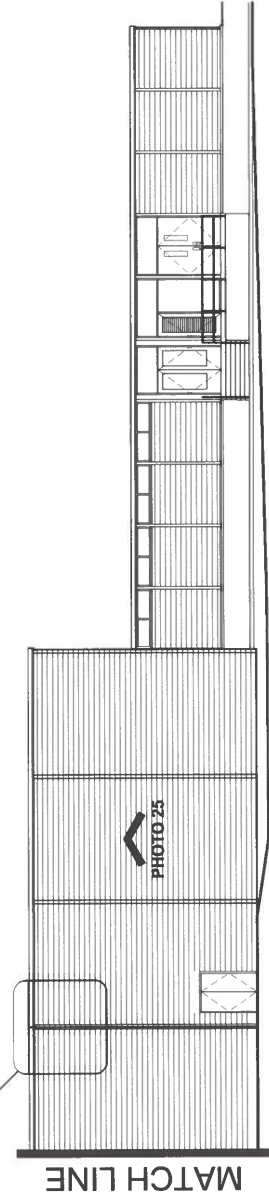


PHOTO 25: GROUT DISPLACEMENT OVER LARGE AREAS TYPICAL INDICATION OF MOVEMENT IN MASONRY.



PHOTO 28: VERTICAL CRACK TYPICAL OF ALL BUILDING CORNERS ARE A RESULT OF MOVEMENT IN MASONRY AND IS AN EXAMPLE OF CRACKING THAT MAY OCCUR. MANY OPEN CRACKS (AS SHOWN IN PHOTO) HAVE BEEN AND CONTINUE TO BE REPAIRED AS NEEDED.



**12 BUILDING ELEVATION**  
SCALE: 1/8"=1'-0"

CENTRAL MIDDLE SCHOOL ARCHITECT'S FIELD REPORT			
Drawing Prepared By	Date	Drawn By	Approved By
Martin A. Benassi, AIA	12/28/2021	—	—
Architect, LLC	Scale	—	—
TWO BROADWAY	Project	ROOF AND FACADE EVALUATION	Approved By
HAMDEN, CONNECTICUT 06518	Project	CENTRAL MIDDLE SCHOOL	—
	Project	9 INDIAN ROCK LANE	—
	Project	GREENWICH, CT	—
	Project No.	Drawing No.	
	21-23	A-6	





## Structural

We inspected Greenwich Central Middle School over the course of (3) days with our latest site inspection on Tuesday, December 28, 2021. The original building is a 1 and 2 story structure that was constructed in 1958. A smaller addition was constructed sometime after 1999<sup>1</sup>. The addition connects the northeast corner of the original building at a masonry sallyport and serves as a 2<sup>nd</sup> level library with 1<sup>st</sup> level classrooms.

Most of the original building and all of the addition are masonry and steel frame structures founded on shallow cast-in-place footings and frost walls. Portions of the original building have crawl space and a partial basement serving as the main boiler room, but the 1<sup>st</sup> level for most of the original building and all of the addition are cast-in-place slabs on grade.

Masonry buildings have one of three basic structures systems: 1) braced walls; 2) braced frames; or 3) a composite of braced walls and frames. Braced walls are also known as structural “cords.” Structural cords transfer lateral loads to structural slabs also known as “diaphragms.” Cords disperse and transfer their lateral loads to other cords by way of diaphragms which is what gives the structure strength from lateral forces such as wind and seismic energy. Braced frames can be timber, concrete or steel and where lateral loads are transferred from walls to the structural frame. The walls support their own weight vertically and are braced by the frames for lateral loads. Composite structures combine certain elements of braced walls and frames for redundancy or load path distribution or both.

Both the original building and addition are constructed with structural steel frames. The 2<sup>nd</sup> level and roofs of the original building are not designed as diaphragms and do not act to distribute lateral loads. CMU block walls carry their self-weight and are laterally supported by steel frames and the assembly at foundation walls. The 2<sup>nd</sup> level of the addition was designed as a diaphragm and acts in composite masonry walls to distribute lateral loads to steel frames.

CMU block walls are a single wythe<sup>2</sup> of hollow core, unreinforced concrete masonry unit (CMU) block. These are free-standing walls. Most are laterally braced with structural steel W and HSS shape columns on their sides. The bottom of CMU walls is braced with keyed foundation walls. Taller CMU walls of the gymnasium are braced with intermediary steel girts at measured 12'-0" from the bottom of the wall. These walls are braced by steel frames on all (4) sides. Constructed on top of the girts are free standing CMU walls that support clearstory window frames. These free-standing walls are braced on (3) side. Taller CMU walls in classrooms of the original building are laterally braced with a bond course of 4" hollow core block. The sallyport connector between the original building and addition was not designed to transfer 2<sup>nd</sup> floor diaphragm loads from the addition to the 2<sup>nd</sup> floor of the original building. The bond course of the original building is not

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<sup>1</sup> Discerned from the date of as-built records that we were able to inspect.

<sup>2</sup> A wythe is a wall of CMU blocks that is (1) block wide in a continuous row of block. Each row of block forms a coarse. Some CMU walls have (2) wythes that are tied together with a “bond” course. Bond courses are a series of block installed 90-degrees perpendicular to (2) adjoining wythes thus forming a physical connection or bond between two wythes. The bond coarse cause the (2) wythes to act as a single wall making the wall sturdier to lateral forces such as wind and seismic. Historically there are different means and methods for constructing bond courses. The original building uses an English running bond method.



connected to the 2<sup>nd</sup> floor consequently the steel frame of the original building is the only laterally support for its CMU walls.

Most of the original building has a 4" hollow core block façade that is tied to the interior CMU wythe with randomly spaced metal wall ties. The northeast facing side of the original building is a panelized curtain wall. The addition is reinforced CMU and does not have a veneer wythe.

Neither the original building nor the addition conforms to current CT-Building Code and are not designed to contemporary safety standards for wind and seismic. Any significant work to repair, alter or improve the buildings would necessitate structural improvements for wind and seismic and these are significant cost drivers.

We observed structural concerns that necessitate major repairs to the drainage, façades, and a foundation wall. These are itemized and discussed in more detail below. These structural concerns stem from recurring water damage, exposure, and the age of key structural elements such as wall ties.

1. Concrete Foundation Wall, Northwest Corner of Original Building. The exterior wall of the northwest stairwell is settling differentially, and the wall is now leaning away from the building. Exhibit 1 are series of photos that illustrate the conditions. The cause of this condition is storm water runoff into the pocket formed by the sallyport between the original building and addition, where the storm water has no were to go but into and beneath the building. The recurring effect is removal of fine grains from the soils supporting footings causing the soil to slowly consolidate. The foundation wall require underpinning in order to arrest the condition as well as significant drainage improvements to divert recurring storm water runoff into this area.
2. Masonry Façade, Original Building. Wall ties connecting the façade to CMU are beyond service life and their evidence of systemic failure throughout the original building's façade. Exhibit 2 presents a series of photos that illustrate the condition. Additionally, DTC monitored movement of the walls during the past (6) months and although the walls are not actively moving beyond tolerances, the conditions that we inspected pose safety concerns as a result of recuring ice, wind, and exposure continue to take a toll. The most severe conditions are the gymnasium, theater, and northwest stairwell located at the sallyport connector. See "Survey Monitoring" below for additional information.
3. Water Damage. Damage to facades of the original building is exacerbated by recurring ice and water damage. Exhibit 3 are a series of photos illustrating the condition. In at least one instance, upper most course of façade blocks is being pushed away from the interior CMU wythe due to ice formation. There are (2) principal reasons for water damage: 1) design of the original building façade versus how it was constructed; and 2) design of the roof membrane and flashing details.

Design the original building façade specifies for a 2" air gap between structural CMU walls and façade. 2" is sufficient for this purpose. Other critical design details necessary for this to air gap function correctly are: a) waterproofing membrane and flashing details that freely exhaust water vapor; b) water proofing membrane type and flashing details have sufficient flex to maintain their integrity given subtle movement at the top of free-standing CMU walls; and c) unobstructed drainage through the air gap coupled with regularly spaced weep holes that permit water to drain away from the building at the bottom of the wall.



As-built conditions differ significantly from design. Not all walls have weep holes. Some have none while others are blocked with paint and debris. We opened a corner section of one wall at the gymnasium, where we observed significant façade failure, and observed that the air gap was approximately 1" which means that excess mortar on the back side of façades is obstructing the flow of water to weep holes. 1" air gap is not sufficient for unobstructed flow of water, particularly at the gymnasium where (2) prominent architectural features introduce large openings to the air gap from the outside. These are located on the north and south walls of the gymnasium and permit significant water infiltration with wind driven rain and ice formation. These are among the walls with the most severe façade failure.

We closely inspected all roof membranes and flashing. Through interview we understand that the original building was roofed in 2006. It is approaching service life which is illustrated with a series of photos in Exhibit 4. We also observe that the waterproofing membrane and flashing details are not suitable for the design of these walls. We observe repeated efforts to repair and correct failures in the membrane, particularly at flashings with the walls, and observed various and repeated efforts to correct water intrusion into the building and walls. Structurally the membrane is not an appropriate system for the design of these walls. An appropriate membrane would include leveling of pockets in the roof structure to prevent bird baths, polyisocyanurate tapered insulation for sheet flow to interior drains, and a thermoplastic polyolefin (TPO) or siplast parapet (SPS) membrane with corresponding flashing details and assemblies that achieve full (20) commercial warranties from manufacturers and can flex with subtle movements in the walls.

We inspected interior walls, interior of foundation walls from the boiler room, generator room, columns, column repairs, and structural slabs. We also inspected interstitial space including interior ceilings and floors, structural steel, and interface between structural diaphragms and cords. These basic structures are in serviceable condition, and we did not observe significant deferred maintenance concerns.

### **Monitoring of Existing Façade Movement**

From August to December 2021, DTC monitored and reported the movement of existing facades on a weekly basis over. Monitoring was performed by establishing fixed survey targets on the existing facades of (20) walls labeled A to T<sup>3</sup>. Horizontal and vertical position and movement was measured by GPS. Temperatures and weather varied seasonally from hot and humid to cold and dry conditions. These variations were normal and there were no extreme weather events during this time.

Wall M located on the north side of the theater reported significant lateral movement<sup>4</sup> during the first (2) reporting periods. We inspected the target in the field, and it had been damaged<sup>5</sup>. The target was abandoned and new target M2 was placed at a higher elevation. Enclosed are the tabulated results from monitoring.

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<sup>3</sup> Reference DTC façade restoration progress drawings dated June 1, 2021 for wall locations.

<sup>4</sup> Significant movement is 1/4<sup>th</sup> inch or greater in any axis of movement.

<sup>5</sup> Wall M faces a parking lot used for recess activities that include basketball and kick ball.



Our key observation of monitoring data is that the walls expanded and contracted normally during the monitoring period. Movement is the result to noise<sup>6</sup> inherent to contemporary survey methods, changing thermal, humidity and moisture conditions. The building was designed to respond to its environment and the mechanics of materials, structural members, and connecting assemblies permit limited degrees of movement as observed in the reports.

We also observe that the walls affixed to the façade with wall ties are not undergoing creep which is a gradual and consistent movement in the direction of one or more vertical, horizontal, and lateral axis. Creep would raise concerns such as differential settlement, quick or capillary effects, or potentially other structural concerns. We do note that there is evidence of historic differential settlement in the building. These conditions appear arrested, and the damage to facades and walls can be repaired as proposed in our earlier progress drawings.

The results of monitoring support our conclusion that structural frames and CMU<sup>7</sup> walls of the building are not structurally failing, and that the condition of facades is the result of water damage and deteriorating wall ties. The design of the wall tie system does not have redundancy and failure of a tie is catastrophic to the tie. Failure of a sufficient number of wall ties in a concentrated section of façade is catastrophic to the section, and the façade is expected to fail in these conditions. Consequently, our concern is that the condition of wall ties and facades remains a significant safety concern.

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<sup>6</sup> Ambient variation in GPS survey methods that fall within measuring tolerances. Observed movement less than 1/4<sup>th</sup> inch is within tolerances.

<sup>7</sup> Concrete Masonry Unit.



Exhibit 1

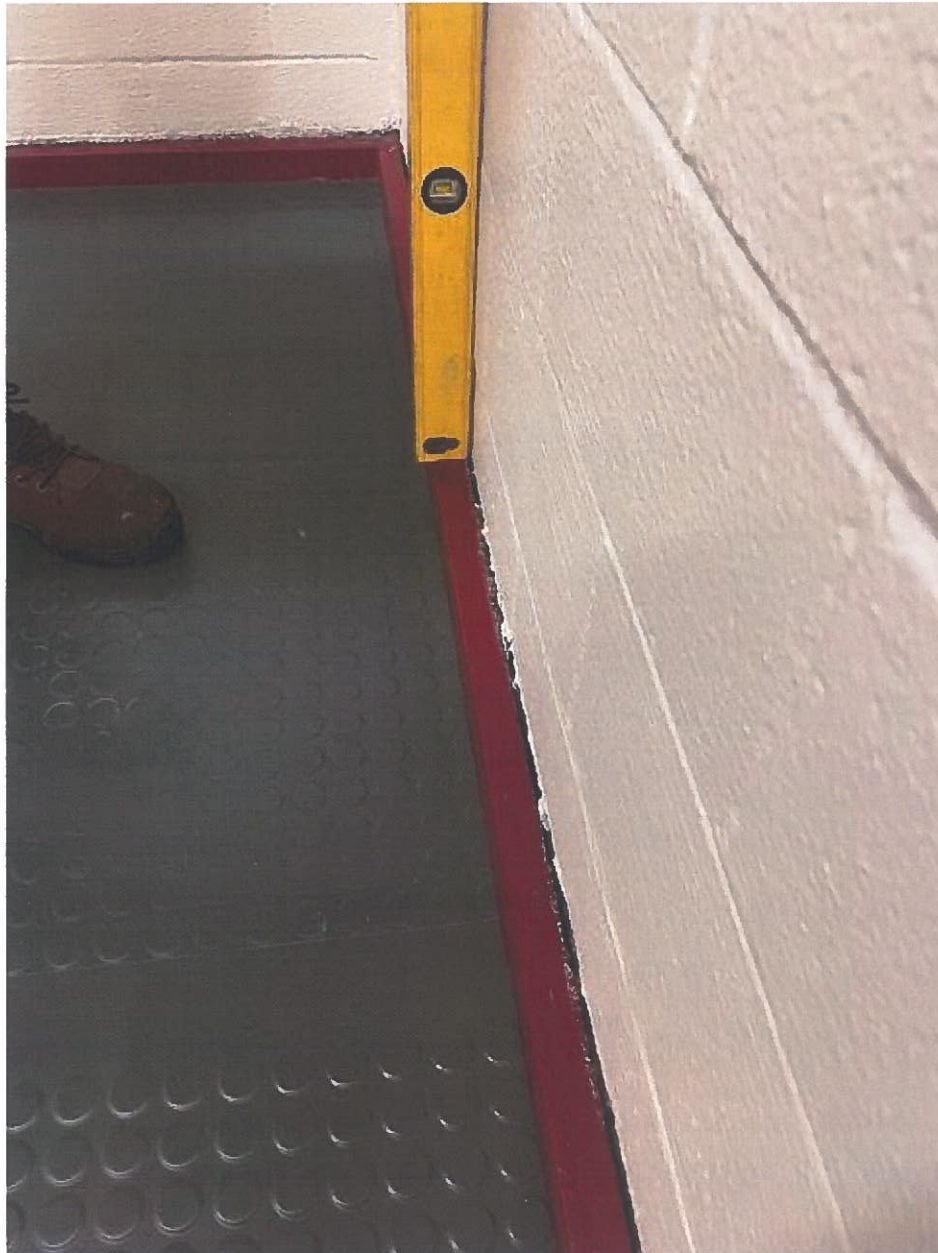


*Figure 1 - Concrete sidewalk has sunken approximately 1-3/4" throughout this area due to loss of fines which is the result of repeated flooding due to inadequacy in the storm drainage system.*



*Figure 2 - View of door threshold where the slab has sunken due to loss of fines.*





*Figure 3 - Exterior wall above the doorway in Figure 2 is leaning away from the building evidenced by the batter of the wall and opening between steel deck at stairwell.*



Exhibit 2



*Figure 4 - Facade leaning outward from building evidenced by the level.*



*Figure 5 - The base of the facade projects 4" from the CMU wall where in this location the facade is leaning out 4-3/4" from the face of the CMU block.*

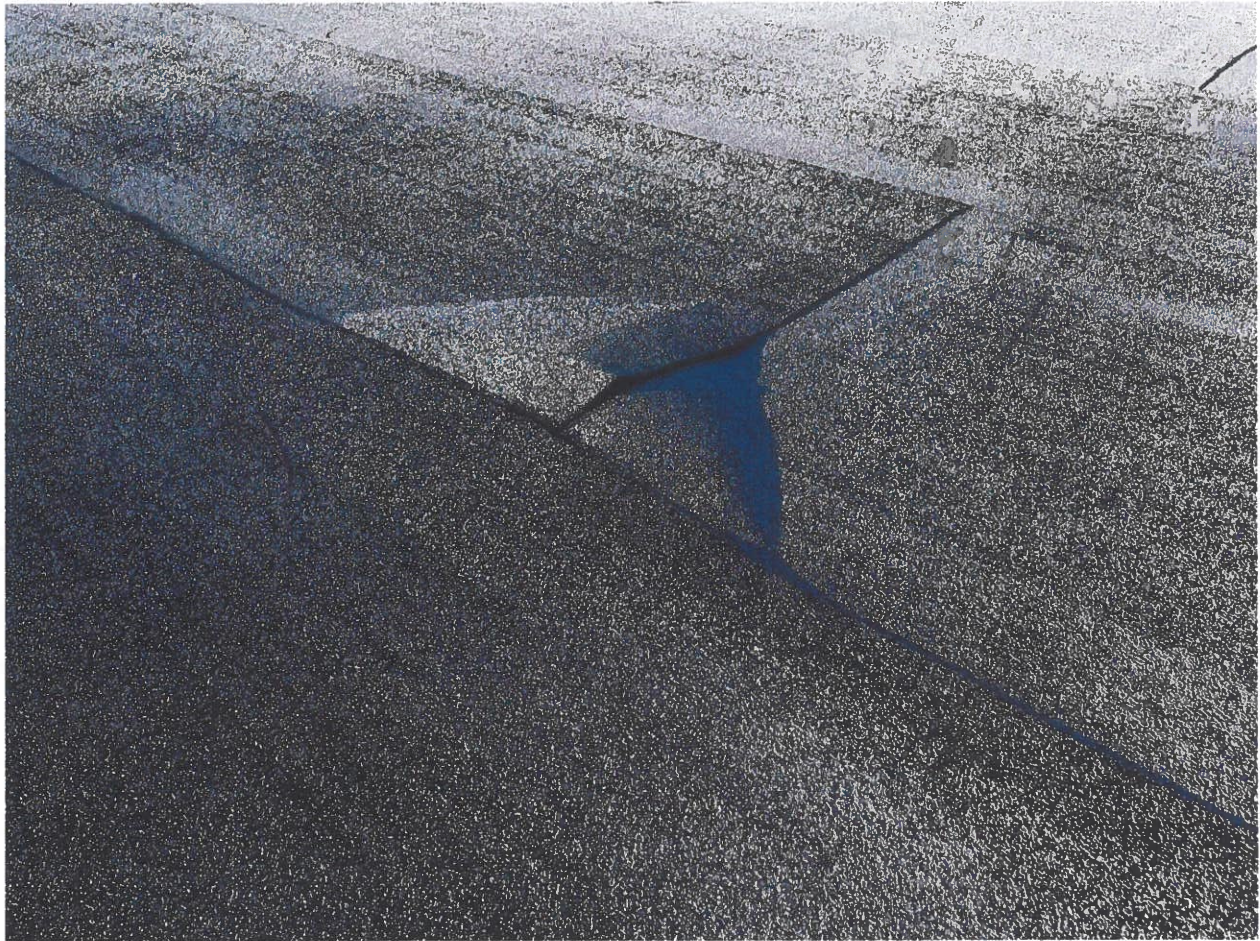




*Figure 6 - We marked the degree of batter at the corner of the gymnasium, where the batter away from the building ranges from 4" at the base to 5-1/2" measured roughly 12' from the base of the wall.*



Exhibit 3



*Figure 7 - Blistering was observed throughout the building, with a significant number of bird bath puddles throughout the roof.*





*Figure 8 - Flashing details are not sufficiently flexible or waterproof to prevent water infiltration and ice and water damage to upper courses of the facade.*

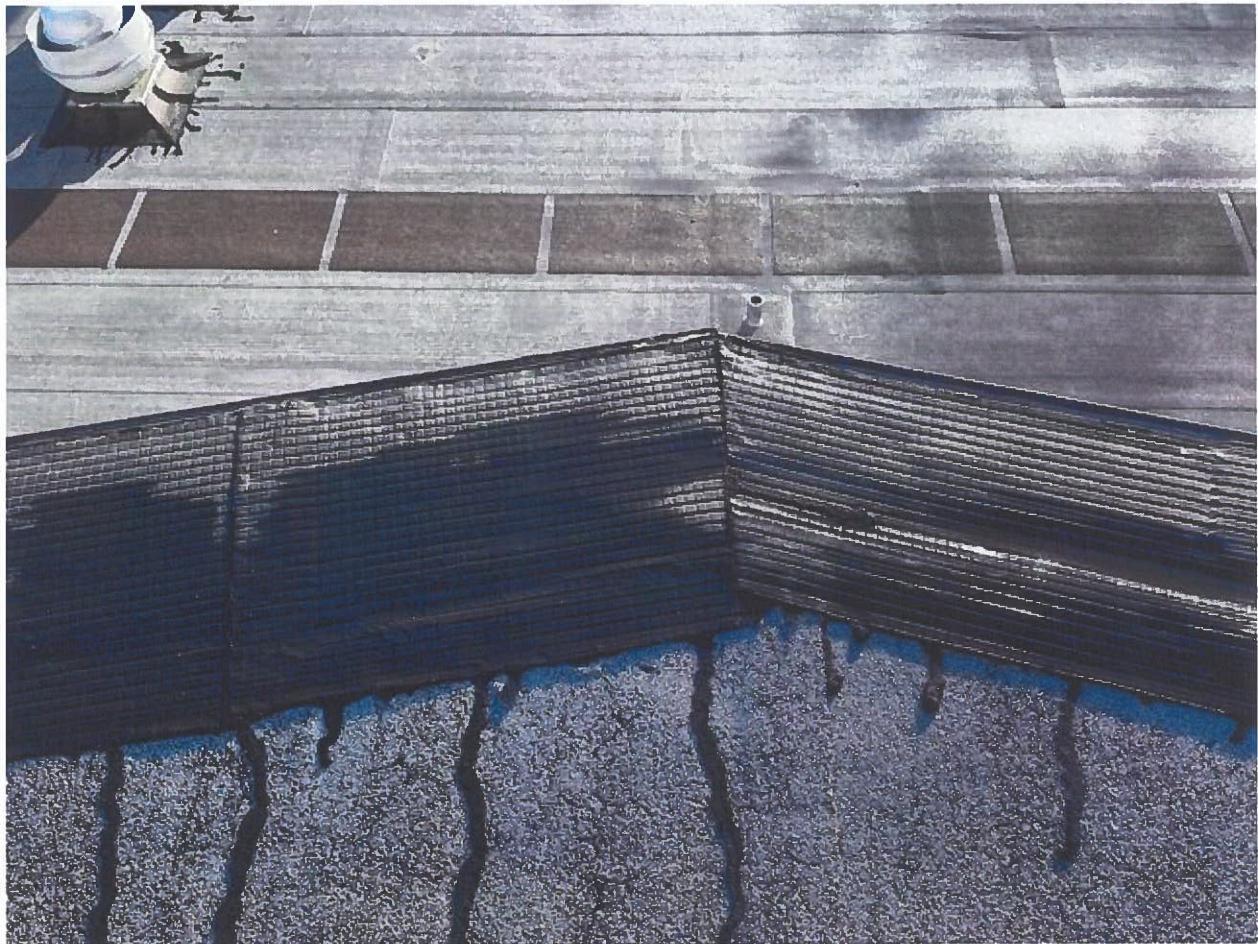


*Figure 9 - A combination of design details, flashing, and water proof membrane result in water damage to architectural features. We observed repeated efforts to repair these conditions throughout the original building.*





*Figure 10 - Severe cracking in the facade due to water and ice damaged. We observed repeated efforts to patch repair these conditions throughout the original building.*



*Figure 11 - The roof membrane flashing details are not suitable for protection of the facades from ice and water damage, where this mopped down bituminous membrane and flashing systems are not sufficiently flexible for the design of exterior walls.*



Exhibit 4



*Figure 12 - Bid bath puddles and blister are systemic throughout the existing roof membrane protecting the original building. This indicates that the roof membrane is reaching of has pasted its service life.*



*Figure 13 - Panoramic view of the roof membrane over the original building. Bird path puddles and blistering are systemic throughout the roof.*

SETTLEMENT MONITORING PROGRAM, CENTRAL MIDDLE SCHOOL, 9 INDIAN ROCK LANE GREENWICH, CT									
MONITORING POINT INFORMATION									
POINTS	DESCRIPTION	NORTHING	EASTING	ELEVATION	MONITORING RESULTS				
					DATE: 7-1-2021				
					EASTING	NORTHING	ELEVATION	DEVIATION (N+/S-)	DEVIATION (E+/W-)
									(ELEV)
A	MINI CIRCLE PRISM MOUNTED ON BUILDING	5025.596	4936.226	113.018	4936.231	5025.601	113.021	0.005	0.005
B	MINI CIRCLE PRISM MOUNTED ON BUILDING	5067.427	4975.347	113.715	4975.355	5067.436	113.719	0.009	0.008
C	MINI CIRCLE PRISM MOUNTED ON BUILDING	5120.384	4931.782	112.367	4931.793	5120.39	112.367	0.006	0.011
D	MINI CIRCLE PRISM MOUNTED ON BUILDING	5116.243	4903.132	116.18	4903.144	5116.248	116.179	0.005	0.012
E	MINI CIRCLE PRISM MOUNTED ON BUILDING	5110.406	4886.688	110.243	4886.7	5110.41	110.244	0.004	0.012
F	MINI CIRCLE PRISM MOUNTED ON BUILDING	5101.97	4569.048	108.578	4569.05	5101.967	108.581	-0.003	0.002
G	MINI CIRCLE PRISM MOUNTED ON BUILDING	5046.913	4569.56	107.287	4569.558	5046.917	107.289	0.004	-0.002
H	MINI CIRCLE PRISM MOUNTED ON BUILDING	5037.194	4575.231	106.761	4575.23	5037.199	106.764	0.005	-0.001
I	MINI CIRCLE PRISM MOUNTED ON BUILDING	5014.168	4671.467	107.101	4671.472	5014.174	107.102	0.006	0.005
J	MINI CIRCLE PRISM MOUNTED ON BUILDING	5006.149	4667.238	105.048	4667.24	5006.154	105.051	0.005	0.002
K	MINI CIRCLE PRISM MOUNTED ON BUILDING	4969.292	4667.556	115.749	4667.560	4969.295	115.752	0.003	0.004
L	MINI CIRCLE PRISM MOUNTED ON BUILDING (SET ON 7-1-2021)	4928.778	4667.884	113.784				-4928.778	-4667.884
M	MINI CIRCLE PRISM MOUNTED ON BUILDING (TARGET HIT RESET 7-16-2021)(TARGET DESTROYED 8-25-2021 NEW TARGET M2 SET)	4852.743	4643.621	113.676	4643.649	4852.757	113.687	0.014	0.028
N	MINI CIRCLE PRISM MOUNTED ON BUILDING	4798.125	4613.728	117.82	4613.735	4798.134	117.821	0.009	0.007
O	MINI CIRCLE PRISM MOUNTED ON BUILDING	4754.374	4648.174	119.562	4648.175	4754.374	119.563	0.000	0.001
P	MINI CIRCLE PRISM MOUNTED ON BUILDING	4828.397	4697.085	129.225	4697.074	4828.407	129.229	0.010	-0.011
Q	MINI CIRCLE PRISM MOUNTED ON BUILDING	4736.364	4667.495	113.194	4667.495	4736.363	113.193	-0.001	0.000
R	MINI CIRCLE PRISM MOUNTED ON BUILDING	4690.308	4750.01	116.157	4750.003	4690.31	116.159	0.002	-0.007
S	MINI CIRCLE PRISM MOUNTED ON BUILDING	5034.273	4851.896	109.339	4851.896	5034.279	109.342	0.006	0.000
T	MINI CIRCLE PRISM MOUNTED ON BUILDING	5031.832	4827.814	114.355	4827.814	5031.84	114.356	0.008	0.000
M2	MINI CIRCLE PRISM MOUNTED ON BUILDING (SET ON 8-25-2021)	4852.636	4641.892	114.019				-4852.636	-4641.892

Enclosure  
Structural, Movement Monitoring



SETTLEMENT MONITORING PROGRAM, CENTRAL MIDDLE SCHOOL, 9 INDIAN ROCK LANE GREENWICH, CT									
MONITORING RESULTS DATE: 7-16-2021									
POINTS	NORTHING	EASTING	ELEVATION	DEVIATION (N+/S-)	DEVIATION (E+/W-)	DEVIATION (ELEV)			
A	5025.599	4936.226	113.021	0.003	0.000	0.003			
B	5067.431	4975.352	113.718	0.004	0.005	0.003			
C	5120.393	4931.794	112.368	0.009	0.012	0.001			
D	5116.246	4903.143	116.178	0.003	0.011	-0.002			
E	5110.403	4886.693	110.239	-0.003	0.005	-0.004			
F	5101.966	4569.041	108.581	-0.004	-0.007	0.003			
G	5046.917	4569.56	107.29	0.004	0.000	0.003			
H	5037.198	4575.232	106.765	0.004	0.001	0.004			
I	5014.169	4671.47	107.102	0.001	0.003	0.001			
J	5006.15	4667.241	105.052	0.001	0.003	0.004			
K	4969.292	4667.559	115.753	0.000	0.003	0.004			
L	4928.775	4667.88	113.785	-0.003	-0.004	0.001			
M	4852.751	4643.645	113.67	0.008	0.024	-0.006			
N	4798.138	4613.735	117.82	0.013	0.007	0.000			
O	4754.374	4648.176	119.563	0.000	0.002	0.001			
P	4828.399	4697.073	129.23	0.002	-0.012	0.005			
Q	4736.363	4667.495	113.192	-0.001	0.000	-0.002			
R	4690.306	4750.006	116.16	-0.002	-0.004	0.003			
S	5034.277	4851.896	109.34	0.004	0.000	0.001			
T	5031.838	4827.807	114.355	0.006	-0.007	0.000			
M2				-4852.636	-4641.892	-114.019			

SETTLEMENT MONITORING PROGRAM, CENTRAL MIDDLE SCHOOL, 9 INDIAN ROCK LANE GREENWICH, CT									
MONITORING RESULTS DATE: 7-30-2021									
POINTS	NORTHING	EASTING	ELEVATION	DEVIATION (N+/S-)	DEVIATION (E+/W-)	DEVIATION (ELEV)			
A	5025.599	4936.225	113.021	0.003		-0.001			
B	5067.432	4975.352	113.719	0.005		0.005			
C	5120.391	4931.789	112.367	0.007		0.007			
D	5116.248	4903.142	116.174	0.005		0.010			
E	5110.409	4886.697	110.241	0.003		0.009			
F	5101.969	4569.044	108.580	-0.001		-0.004			
G	5046.919	4569.558	107.292	0.006		-0.002			
H	5037.200	4575.231	106.767	0.006		0.000			
I	5014.171	4671.471	107.103	0.003		0.004			
J	5006.158	4667.243	105.052	0.009		0.005			
K	4969.300	4667.564	115.754	0.008		0.008			
L	4928.782	4667.888	113.789	0.004		0.004			
M	4852.766	4643.638	113.685	0.023		0.017			
N	4798.135	4613.736	117.820	0.010		0.008			
O	4754.373	4648.176	119.563	-0.001		0.002			
P	4828.401	4697.076	129.228	0.004		-0.009			
Q	4736.363	4667.496	113.192	-0.001		0.001			
R	4690.306	4750.005	116.159	-0.002		-0.005			
S	5034.275	4851.893	109.341	0.002		-0.003			
T	5031.833	4827.812	114.355	0.001		-0.002			
M2				-4852.636	-4641.892	-114.019			

SETTLEMENT MONITORING PROGRAM, CENTRAL MIDDLE SCHOOL, 9 INDIAN ROCK LANE GREENWICH, CT									
MONITORING RESULTS DATE: 8-11-2021									
POINTS	NORTHING	EASTING	ELEVATION	DEVIATION (N+/S-)	DEVIATION (E+/W-)	DEVIATION (ELEV)			
A	5025.593	4936.226	113.023	-0.003	0.000	0.005			
B	5067.426	4975.351	113.720	-0.001	0.004	0.005			
C	5120.389	4931.788	112.374	0.005	0.006	0.007			
D	5116.251	4903.139	116.177	0.008	0.007	-0.003			
E	5110.410	4886.694	110.245	0.004	0.006	0.002			
F	5101.969	4569.044	108.586	-0.001	-0.004	0.008			
G	5046.916	4569.556	107.287	0.003	-0.004	0.000			
H	5037.193	4575.231	106.763	-0.001	0.000	0.002			
I	5014.168	4671.467	107.101	0.000	0.000	0.000			
J	5006.156	4667.236	105.048	0.007	-0.002	0.000			
K	4969.300	4667.556	115.749	0.008	0.000	0.000			
L	4928.781	4667.882	113.790	0.003	-0.002	0.006			
M	4852.770	4643.633	113.688	0.027	0.012	0.012			
N	4798.132	4613.740	117.822	0.007	0.012	0.002			
O	4754.368	4648.179	119.562	-0.006	0.005	0.000			
P	4828.395	4697.079	129.230	-0.002	-0.006	0.005			
Q	4736.357	4667.497	113.192	-0.007	0.002	-0.002			
R	4690.304	4750.013	116.161	-0.004	0.003	0.004			
S	5034.272	4851.894	109.343	-0.001	-0.002	0.004			
T	5031.832	4827.812	114.359	0.000	-0.002	0.004			
M2				-4852.636	-4641.892	-114.019			

SETTLEMENT MONITORING PROGRAM, CENTRAL MIDDLE SCHOOL, 9 INDIAN ROCK LANE GREENWICH, CT									
MONITORING RESULTS DATE: 8-25-2021									
POINTS	NORTHING	EASTING	ELEVATION	DEVIATION (N+/S-)	DEVIATION (E+/W-)	DEVIATION (ELEV)			
A	5025.596	4936.228	113.022	0.000	0.002	0.004			
B	5067.432	4975.354	113.719	0.005	0.007	0.004			
C	5120.383	4931.792	112.371	-0.001	0.010	0.004			
D	5116.240	4903.138	116.183	-0.003	0.006	0.003			
E	5110.401	4886.693	110.247	-0.005	0.005	0.004			
F	5101.968	4569.050	108.582	-0.002	0.002	0.004			
G	5046.916	4569.562	107.291	0.003	0.002	0.004			
H	5037.197	4575.234	106.767	0.003	0.003	0.006			
I	5014.165	4671.472	107.102	-0.003	0.005	0.001			
J	5006.147	4667.243	105.053	-0.002	0.005	0.005			
K	4969.290	4667.560	115.755	-0.002	0.004	0.006			
L	4928.771	4667.883	113.787	-0.007	-0.001	0.003			
M	4852.757	4643.639	113.682	0.014	0.018	0.006			
N	4798.135	4613.732	117.820	0.010	0.004	0.000			
O	4754.371	4648.174	119.564	-0.003	0.000	0.002			
P	4828.404	4697.078	129.227	0.007	-0.007	0.002			
Q	4736.361	4667.493	113.191	-0.003	-0.002	-0.003			
R	4690.307	4750.007	116.159	-0.001	-0.003	0.002			
S	5034.279	4851.890	109.341	0.006	-0.006	0.002			
T	5031.838	4827.815	114.355	0.006	0.001	0.000			
M2				-4852.636	-4641.892	-114.019			

SETTLEMENT MONITORING PROGRAM, CENTRAL MIDDLE SCHOOL, 9 INDIAN ROCK LANE GREENWICH, CT												
MONITORING POINT INFORMATION					MONITORING RESULTS							
POINTS	DESCRIPTION	NORTHING	EASTING	ELEVATION	POINTS	NORTHING	DATE: 9-10-2021 EASTING	ELEVATION	DEVIATION (N+/S-)	DEVIATION (E+/W-)	DEVIATION (ELEV)	
A	MINI CIRCLE PRISM MOUNTED ON BUILDING	5025.596	4936.226	113.018	A	5025.602	4936.233	113.019	0.006	0.007	0.001	
B	MINI CIRCLE PRISM MOUNTED ON BUILDING	5067.427	4975.347	113.715	B	5067.434	4975.356	113.716	0.007	0.009	0.001	
C	MINI CIRCLE PRISM MOUNTED ON BUILDING	5120.384	4931.782	112.367	C	5120.392	4931.793	112.364	0.008	0.011	-0.003	
D	MINI CIRCLE PRISM MOUNTED ON BUILDING	5116.243	4903.132	116.18	D	5116.248	4903.143	116.176	0.005	0.011	-0.004	
E	MINI CIRCLE PRISM MOUNTED ON BUILDING	5110.406	4886.688	110.243	E	5110.412	4886.696	110.238	0.006	0.008	-0.005	
F	MINI CIRCLE PRISM MOUNTED ON BUILDING	5101.97	4569.048	108.578	F	5101.967	4569.045	108.58	-0.003	-0.003	0.002	
G	MINI CIRCLE PRISM MOUNTED ON BUILDING	5046.913	4569.56	107.287	G	5046.916	4569.562	107.291	0.003	0.002	0.004	
H	MINI CIRCLE PRISM MOUNTED ON BUILDING	5037.194	4575.231	106.761	H	5037.199	4575.233	106.766	0.005	0.002	0.005	
I	MINI CIRCLE PRISM MOUNTED ON BUILDING	5014.168	4671.467	107.101	I	5014.169	4671.476	107.103	0.001	0.009	0.002	
J	MINI CIRCLE PRISM MOUNTED ON BUILDING	5006.149	4667.238	105.048	J	5006.149	4667.241	105.053	0.000	0.003	0.005	
K	MINI CIRCLE PRISM MOUNTED ON BUILDING	4969.292	4667.556	115.749	K	4969.291	4667.558	115.754	-0.001	0.002	0.005	
L	MINI CIRCLE PRISM MOUNTED ON BUILDING (SET ON 7-1-2021)	4928.778	4667.884	113.784	L	4928.778	4667.887	113.787	0.000	0.003	0.003	
M	MINI CIRCLE PRISM MOUNTED ON BUILDING (TARGET HIT RESET 7-16-2021)(TARGET DESTROYED 8-25-2021 NEW TARGET M2 SET)	4852.743	4643.621	113.676	M				-4852.743	-4643.621	-113.676	
N	MINI CIRCLE PRISM MOUNTED ON BUILDING	4798.125	4613.728	117.82	N	4798.134	4613.735	117.819	0.009	0.007	-0.001	
O	MINI CIRCLE PRISM MOUNTED ON BUILDING	4754.374	4648.174	119.562	O	4754.373	4648.174	119.562	-0.001	0.000	0.000	
P	MINI CIRCLE PRISM MOUNTED ON BUILDING	4828.397	4697.085	129.225	P	4828.408	4697.081	129.227	0.011	-0.004	0.002	
Q	MINI CIRCLE PRISM MOUNTED ON BUILDING	4736.364	4667.495	113.194	Q	4736.361	4667.494	113.191	-0.003	-0.001	-0.003	
R	MINI CIRCLE PRISM MOUNTED ON BUILDING	4690.308	4750.01	116.157	R	4690.309	4750.005	116.158	0.001	-0.005	0.001	
S	MINI CIRCLE PRISM MOUNTED ON BUILDING	5034.273	4851.896	109.339	S	5034.282	4851.897	109.339	0.009	0.001	0.000	
T	MINI CIRCLE PRISM MOUNTED ON BUILDING	5031.832	4827.814	114.355	T	5031.841	4827.817	114.355	0.009	0.003	0.000	
M2	MINI CIRCLE PRISM MOUNTED ON BUILDING (SET ON 8-25-2021)	4852.636	4641.892	114.019	M2	4852.634	4641.894	114.021	-0.002	0.002	0.002	

SETTLEMENT MONITORING PROGRAM, CENTRAL MIDDLE SCHOOL, 9 INDIAN ROCK LANE GREENWICH, CT													SETTLEMENT MONITORING PROGRAM, CENTRAL MIDDLE SCHOOL, 9 INDIAN ROCK LANE GREENWICH, CT																
MONITORING RESULTS				DATE: 9-23-2021		ELEVATION		DEVIATION (N+/S-)		DEVIATION (E+/W-)		DEVIATION (ELEV)		MONITORING RESULTS				DATE: 10-8-2021		ELEVATION		DEVIATION (N+/S-)		DEVIATION (E+/W-)		DEVIATION (ELEV)			
POINTS	NORTHING	EASTING												POINTS	NORTHING	EASTING													
A	5025.604	4936.232		113.018	0.008	0.006	0.000							A	5025.605	4936.232		113.019	0.009	0.006	0.001								
B	5067.432	4975.356		113.715	0.005	0.009	0.000							B	5067.433	4975.356		113.716	0.006	0.009	0.001								
C	5120.383	4931.791		112.372	-0.001	0.009	0.005							C	5120.388	4931.794		112.369	0.004	0.012	0.002								
D	5116.239	4903.138		116.184	-0.004	0.006	0.004							D	5116.238	4903.142		116.183	-0.005	0.010	0.003								
E	5110.402	4886.693		110.247	-0.004	0.005	0.004							E	5110.401	4886.696		110.245	-0.005	0.008	0.002								
F	5101.961	4569.051		108.58	-0.009	0.003	0.002							F	5101.970	4569.046		108.584	0.000	-0.002	0.006								
G	5046.918	4569.561		107.29	0.005	0.001	0.003							G	5046.913	4569.560		107.290	0.000	0.000	0.003								
H	5037.198	4575.233		106.765	0.004	0.002	0.004							H	5037.198	4575.232		106.765	0.004	0.001	0.004								
I	5014.17	4671.474		107.103	0.002	0.007	0.002							I	5014.173	4671.473		107.102	0.005	0.006	0.001								
J	5006.15	4667.241		105.052	0.001	0.003	0.004							J	5006.150	4667.243		105.051	0.001	0.005	0.003								
K	4969.292	4667.562		115.754	0.000	0.006	0.005							K	4969.292	4667.566		115.753	0.000	0.010	0.004								
L	4928.776	4667.885		113.785	-0.002	0.001	0.001							L	4928.776	4667.887		113.785	-0.002	0.003	0.001								
M														M															
N	4798.133	4613.735		117.819	0.008	0.007	-0.001							N	4798.136	4613.734		117.820	0.011	0.006	0.000								
O	4754.371	4648.177		119.562	-0.003	0.003	0.000							O	4754.374	4648.175		119.563	0.000	0.001	0.001								
P	4828.4	4697.076		129.227	0.003	-0.009	0.002							P	4828.405	4697.076		129.225	0.008	-0.009	0.000								
Q	4736.361	4667.495		113.191	-0.003	0.000	-0.003							Q	4736.361	4667.496		113.192	-0.003	0.001	-0.002								
R	4690.303	4750.009		116.158	-0.005	-0.001	0.001							R	4690.310	4750.003		116.159	0.002	-0.007	0.002								
S	5034.286	4851.898		109.339	0.013	0.002	0.000							S	5034.289	4851.897		109.340	0.016	0.001	0.001								
T	5031.848	4827.814		114.353	0.016	0.000	-0.002							T	5031.848	4827.818		114.356	0.016	0.004	0.001								
M2	4852.635	4641.893		114.018	-0.001	0.001	-0.001							M2	4852.632	4641.897		114.018	0.004	0.005	-0.001								



SETTLEMENT MONITORING PROGRAM, CENTRAL MIDDLE SCHOOL, 9 INDIAN ROCK LANE GREENWICH, CT									
POINTS	MONITORING RESULTS		DATE: 10-21-2021	EASTING	ELEVATION	DEVIATION (N+/S-)	DEVIATION (E+/W-)	DEVIATION (ELEV)	
	NORTHING								
A	5025.601	4936.233		113.022		0.005	0.007	0.004	
B	5067.433	4975.353		113.718		0.006	0.006	0.003	
C	5120.384	4931.793		112.363		0.000	0.011	-0.004	
D	5116.246	4903.143		116.183		0.003	0.011	0.003	
E	5110.405	4886.699		110.240		-0.001	0.011	-0.003	
F	5101.963	4569.046		108.581		-0.007	-0.002	0.003	
G	5046.922	4569.558		107.291		0.009	-0.002	0.004	
H	5037.203	4575.230		106.766		0.009	-0.001	0.005	
I	5014.173	4671.472		107.102		0.005	0.005	0.001	
J	5006.157	4667.241		105.052		0.008	0.003	0.004	
K	4969.299	4667.561		115.753		0.007	0.005	0.004	
L	4928.782	4667.885		113.786		0.004	0.001	0.002	
M						-4852.743	-4643.621	-113.676	
N	4798.135	4613.732		117.820		0.010	0.004	0.000	
O	4754.372	4648.173		119.562		-0.002	-0.001	0.000	
P	4828.403	4697.078		129.226		0.006	-0.007	0.001	
Q	4736.360	4667.493		113.191		-0.004	-0.002	-0.003	
R	4690.310	4750.002		116.158		0.002	-0.008	0.001	
S	5034.284	4851.896		109.341		0.011	0.000	0.002	
T	5031.842	4827.813		114.357		0.010	-0.001	0.002	
M2	4852.639	4641.893		114.018		0.003	0.001	-0.001	

SETTLEMENT MONITORING PROGRAM, CENTRAL MIDDLE SCHOOL, 9 INDIAN ROCK LANE GREENWICH, CT									
POINTS	MONITORING RESULTS		DATE: 11-4-2021	EASTING	ELEVATION	DEVIATION (N+/S-)	DEVIATION (E+/W-)	DEVIATION (ELEV)	
	NORTHING								
A	5025.603	4936.232		113.015		0.007	0.006	-0.003	
B	5067.429	4975.348		113.711		0.002	0.001	-0.004	
C	5120.379	4931.785		112.367		-0.005	0.003	0.000	
D	5116.242	4903.136		116.186		-0.001	0.004	0.006	
E	5110.403	4886.687		110.242		-0.003	-0.001	-0.001	
F	5101.971	4569.042		108.576		0.001	-0.006	-0.002	
G	5046.916	4569.557		107.286		0.003	-0.003	-0.001	
H	5037.199	4575.227		106.762		0.005	-0.004	0.001	
I	5014.166	4671.467		107.103		-0.002	0.000	0.002	
J	5006.149	4667.237		105.049		0.000	-0.001	0.001	
K	4969.296	4667.557		115.751		0.004	0.001	0.002	
L	4928.782	4667.882		113.783		0.004	-0.002	-0.001	
M						-4852.743	-4643.621	-113.676	
N	4798.128	4613.734		117.818		0.003	0.006	-0.002	
O	4754.368	4648.172		119.558		-0.006	-0.002	-0.004	
P	4828.398	4697.079		129.226		0.001	-0.006	0.001	
Q	4736.355	4667.494		113.189		-0.009	-0.001	-0.005	
R	4690.306	4750.007		116.156		-0.002	-0.003	-0.001	
S	5034.281	4851.900		109.337		0.008	0.004	-0.002	
T	5031.843	4827.812		114.356		0.011	-0.002	0.001	
M2	4852.637	4641.891		114.017		0.001	-0.001	-0.002	

SETTLEMENT MONITORING PROGRAM, CENTRAL MIDDLE SCHOOL, 9 INDIAN ROCK LANE GREENWICH, CT											
MONITORING POINT INFORMATION					MONITORING RESULTS						
POINTS	DESCRIPTION	NORTHING	EASTING	ELEVATION	DATE: 11-18-2021	EASTING	NORTHING	ELEVATION	DEVIATION (N+/S-)	DEVIATION (E+/W-)	DEVIATION (ELEV)
A	MINI CIRCLE PRISM MOUNTED ON BUILDING	5025.596	4936.226	113.018		4936.231	5025.601	113.014	0.005	0.005	-0.004
B	MINI CIRCLE PRISM MOUNTED ON BUILDING	5067.427	4975.347	113.715		4975.348	5067.429	113.711	0.002	0.001	-0.004
C	MINI CIRCLE PRISM MOUNTED ON BUILDING	5120.384	4931.782	112.367		4931.781	5120.379	112.367	-0.005	-0.001	0.000
D	MINI CIRCLE PRISM MOUNTED ON BUILDING	5116.243	4903.132	116.18		4903.13	5116.241	116.181	-0.002	-0.002	0.001
E	MINI CIRCLE PRISM MOUNTED ON BUILDING	5110.406	4886.688	110.243		4886.685	5110.405	110.243	-0.001	-0.003	0.000
F	MINI CIRCLE PRISM MOUNTED ON BUILDING	5101.97	4569.048	108.578		4569.042	5101.973	108.578	0.003	-0.006	0.000
G	MINI CIRCLE PRISM MOUNTED ON BUILDING	5046.913	4569.56	107.287		4569.559	5046.914	107.287	0.001	-0.001	0.000
H	MINI CIRCLE PRISM MOUNTED ON BUILDING	5037.194	4575.231	106.761		4575.23	5037.197	106.763	0.003	-0.001	0.002
I	MINI CIRCLE PRISM MOUNTED ON BUILDING	5014.168	4671.467	107.101		4671.468	5014.165	107.103	-0.003	0.001	0.002
J	MINI CIRCLE PRISM MOUNTED ON BUILDING	5006.149	4667.238	105.048		4667.237	5006.148	105.049	-0.001	-0.001	0.001
K	MINI CIRCLE PRISM MOUNTED ON BUILDING	4969.292	4667.556	115.749		4667.559	4969.291	115.751	-0.001	0.003	0.002
L	MINI CIRCLE PRISM MOUNTED ON BUILDING (SET ON 7-1-2021)	4928.778	4667.884	113.784		4667.885	4928.78	113.784	0.002	0.001	0.000
M	MINI CIRCLE PRISM MOUNTED ON BUILDING (TARGET HIT RESET 7-16-2021)(TARGET DESTROYED 8-25-2021 NEW TARGET M2 SET)	4852.743	4643.621	113.676					-4852.743	-4643.621	-113.676
N	MINI CIRCLE PRISM MOUNTED ON BUILDING	4798.125	4613.728	117.82		4613.737	4798.13	117.818	0.005	0.009	-0.002
O	MINI CIRCLE PRISM MOUNTED ON BUILDING	4754.374	4648.174	119.562		4648.174	4754.368	119.559	-0.006	0.000	-0.003
P	MINI CIRCLE PRISM MOUNTED ON BUILDING	4828.397	4697.085	129.225		4697.081	4828.398	129.227	0.001	-0.004	0.002
Q	MINI CIRCLE PRISM MOUNTED ON BUILDING	4736.364	4667.495	113.194		4667.495	4736.358	113.188	-0.006	0.000	-0.006
R	MINI CIRCLE PRISM MOUNTED ON BUILDING	4690.308	4750.01	116.157		4750.007	4690.308	116.156	0.000	-0.003	-0.001
S	MINI CIRCLE PRISM MOUNTED ON BUILDING	5034.273	4851.896	109.339		4851.899	5034.277	109.337	0.004	0.003	-0.002
T	MINI CIRCLE PRISM MOUNTED ON BUILDING	5031.832	4827.814	114.355		4827.812	5031.838	114.354	0.006	-0.002	-0.001
M2	MINI CIRCLE PRISM MOUNTED ON BUILDING (SET ON 8-25-2021)(TARGET DESTROYED 11-18-2021)	4852.636	4641.892	114.019					-4852.636	-4641.892	-114.019
M2	MINI CIRCLE PRISM MOUNTED ON BUILDING (SET ON 12-2-2021)	4852.635	4641.892	114.018					-4852.635	-4641.892	-114.018

SETTLEMENT MONITORING PROGRAM, CENTRAL MIDDLE SCHOOL, 9 INDIAN ROCK LANE GREENWICH, CT									
POINTS	MONITORING RESULTS		DATE: 12-2-2021	EASTING	ELEVATION	DEVIATION (N+/S-)	DEVIATION (E+/W-)	DEVIATION (E+/W-)	DEVIATION (ELEV)
	NORTHING	NORTHING							
A	5025.601	5025.598	4936.23	4936.228	113.015	0.005	0.004	0.002	-0.003
B	5067.429	5067.428	4975.347	4975.345	113.712	0.002	0.000	-0.002	-0.003
C	5120.383	5120.381	4931.78	4931.780	112.368	-0.001	-0.002	-0.002	0.001
D	5116.243	5116.242	4903.129	4903.129	116.179	0.000	-0.003	-0.003	-0.001
E	5110.409	5110.406	4886.685	4886.685	110.243	0.003	-0.003	-0.003	0.000
F	5101.974	5101.974	4569.045	4569.043	108.577	0.004	-0.003	-0.005	-0.001
G	5046.914	5046.915	4569.561	4569.561	107.286	0.001	0.001	0.001	-0.001
H	5037.197	5037.195	4575.232	4575.232	106.762	0.003	0.001	0.001	0.001
I	5014.165	5014.165	4671.467	4671.468	107.103	-0.003	0.000	0.001	0.002
J	5006.149	5006.149	4667.237	4667.238	105.049	0.000	-0.001	0.000	0.001
K	4969.294	4969.293	4667.56	4667.560	115.75	0.002	0.004	0.004	0.001
L	4928.78	4928.779	4667.885	4667.885	113.783	0.002	0.001	0.001	-0.001
M						-4852.743	-4643.621	-4643.621	-113.676
N	4798.127	4798.128	4613.733	4613.734	117.818	0.002	0.005	0.006	-0.002
O	4754.366	4754.365	4648.171	4648.172	119.559	-0.008	-0.003	-0.002	-0.003
P	4828.395	4828.396	4697.082	4697.083	129.227	-0.002	-0.003	-0.002	0.002
Q	4736.356	4736.356	4667.493	4667.494	113.188	-0.008	-0.002	-0.001	-0.006
R	4690.307	4690.306	4750.008	4750.006	116.155	-0.001	-0.002	-0.004	-0.002
S	5034.278	5034.276	4851.9	4851.897	109.337	0.005	0.004	0.001	-0.002
T	5031.838	5031.836	4827.813	4827.811	114.355	0.006	-0.001	-0.003	0.000
M2						-4852.636	-4641.892	-4641.892	-114.019
M3		4852.636		4641.893	114.018	-4852.635	-4641.892	0.001	-114.018

SETTLEMENT MONITORING PROGRAM, CENTRAL MIDDLE SCHOOL, 9 INDIAN ROCK LANE GREENWICH, CT						
POINTS	MONITORING RESULTS		DATE: 10-21-2021	MONITORING RESULTS		DATE: 11-4-2021
	NORTHING	EASTING		NORTHING	EASTING	
	ELEVATION	DEVIATION (N+/S-)	DEVIATION (E+/W-)	DEVIATION (N+/S-)	DEVIATION (E+/W-)	DEVIATION (ELEV)
A		-5025.596	-4936.226	-5025.596	-4936.226	-113.018
B		-5067.427	-4975.347	-5067.427	-4975.347	-113.715
C		-5120.384	-4931.782	-5120.384	-4931.782	-112.367
D		-5116.243	-4903.132	-5116.243	-4903.132	-116.180
E		-5110.406	-4886.688	-5110.406	-4886.688	-110.243
F		-5101.970	-4569.048	-5101.970	-4569.048	-108.578
G		-5046.913	-4569.560	-5046.913	-4569.560	-107.287
H		-5037.194	-4575.231	-5037.194	-4575.231	-106.761
I		-5014.168	-4671.467	-5014.168	-4671.467	-107.101
J		-5006.149	-4667.238	-5006.149	-4667.238	-105.048
K		-4969.292	-4667.556	-4969.292	-4667.556	-115.749
L		-4928.778	-4667.884	-4928.778	-4667.884	-113.784
M		-4852.743	-4643.621	-4852.743	-4643.621	-113.676
N		-4798.125	-4613.728	-4798.125	-4613.728	-117.820
O		-4754.374	-4648.174	-4754.374	-4648.174	-119.562
P		-4828.397	-4697.085	-4828.397	-4697.085	-129.225
Q		-4736.364	-4667.495	-4736.364	-4667.495	-113.194
R		-4690.308	-4750.010	-4690.308	-4750.010	-116.157
S		-5034.273	-4851.896	-5034.273	-4851.896	-109.339
T		-5031.832	-4827.814	-5031.832	-4827.814	-114.355
M2		-4852.636	-4641.892	-4852.636	-4641.892	-114.019
M3		-4852.635	-4641.892	-4852.635	-4641.892	-114.018

Enclosure  
Structural, Movement Monitoring





## **Mechanical**

We visited the facility on Tuesday, December 28, 2021, over the course of (1) day to survey and assess mechanical conditions. We interviewed facilities staff, inspected physical and operating conditions, recorded maintenance tags, and inventoried existing equipment. It should be noted that facilities personnel were not able to answer most of our questions about the systems such as service schedules, trouble calls, deferred maintenance, etc.

The heating plant consists of three (3) Smith Model 28HE-10 dual-fuel cast iron steam boilers and (5) five Armstrong hot-water pumps. We do not know when they were first installed. Currently are in working condition. The boilers have been converted to natural gas fired only with each boiler having a Net IBR output capacity of 2,185 MBH. While these boilers are in good condition, due to their age and ASHRAE suggested equipment lifespan of 30 years and 20 years, respectively, the boilers and associated pumps should be replaced with like and kind. Much if not all the piping dates back to the original construction of the building in 1958 and does not appear to have any major leaks or notable operational deficiencies. The hot-water system feeds various central station air-handling unit large heating coils.

Split system air-handling units with direct-expansion cooling serve some areas of the facility, including the data closets and other ancillary rooms. Associated condensing units are located either on the roof or at grade, generally nearby to the air-handling units. This equipment does not appear to be original to the building construction.

One (1) packaged rooftop unit is brand new and was recently installed to serve the schools renovated auditorium/theater.

Through-the-wall or in-window air conditioning units serve many, if not all, of the classroom areas throughout the facility as a means of mechanical cooling.

There are four (4) central station air handling units that serve as a means of ventilation to the building, as well as a source of heat. The central station air-handlers are located in the lower-level boiler room and are ducted up through the facility to the space served.

The various HVAC system described above generally are controlled by either old pneumatic controls, or by local independent controls. A new facility-wide building management system is recommended to improve operational efficiency.

The original building is a 1 and 2 story structure that was constructed in 1958. A smaller addition was constructed sometime after 1999<sup>8</sup>. The addition connects the northeast corner of the original building and serves as a 2<sup>nd</sup> level library with 1<sup>st</sup> level classrooms.

## **Property Details**

The HVAC systems at the Greenwich Central Middle School are comprised of a variety of different system types and ages, installed over the life span of the building including, rooftop packaged air-handling units, powered ventilators, and split-system air conditioning units. Much of the existing HVAC equipment appears to be original to the building or from the most recent renovation to the building, in 1999, aside from a few systems that were recently installed. The building was originally

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<sup>8</sup> Discerned from the date of as-built records that we were able to inspect.



constructed in 1958 and is a 2-story building, constructed of concrete masonry and glass, with the previously mentioned renovation in 1999.

### **Scope of Work**

The proposed scope of work for this Facility Condition Assessment Report is as follows:

- Meet with knowledgeable school staff for each facility to obtain from their input and to fully understand the characteristics of each school property.
- Conduct on-site inspections
- Produce a Facility Condition Assessment Analysis Report
  - In-depth assessment of the facility as it relates to any operational deficiencies
  - Recommendations required to correct the existing operational deficiencies

### **Existing Mechanical Systems**

The heating plant consists of three (3) Smith Model 28HE-10 dual-fuel cast iron steam boilers and (5) five Armstrong hot-water pumps. We do not know when they were first installed. Currently are in working condition. The boilers have been converted to natural gas fired only with each boiler having a Net IBR output capacity of 2,185 MBH. While these boilers are in good condition, due to their age and ASHRAE suggested equipment lifespan of 30 years, the boilers and associated pumps should be replaced with like and kind. Much if not all the piping dates back to the original construction of the building in 1958 and does not appear to have any major leaks or notable operational deficiencies. The hot-water system feeds various central station air-handling unit heating coils.

Split system air-handling units with direct-expansion cooling serve some areas of the facility, including the data closets and other ancillary rooms. Associated condensing units are located either on the roof or at grade, generally nearby to the air-handling units. This equipment does not appear to be original to the building construction but based on the age and appearance of these systems, replacement is recommended.

One (1) packaged rooftop unit is brand new and was recently installed to serve the schools renovated auditorium/theater.

Through-the-wall or in-window air conditioning units serve many, if not all, of the classroom areas throughout the facility as a means of mechanical cooling.

There are four (4) central station air handling units that serve as a means of ventilation to the building, as well as a source of heat. The central station air-handlers are located in the lower-level boiler room and are ducted up through the facility to the space served.

The various HVAC system described above generally are controlled by either old pneumatic controls, or by local independent controls.

The Greenwich Central Middle School is a medium sized building that has been expanded over time, undergoing a single renovation over the life of the building. The original building is a 1 and 2 story structure that was constructed in 1958. A smaller addition was constructed sometime after 1999. The addition connects the northeast corner of the original building and serves as a 2<sup>nd</sup> level library with 1<sup>st</sup> level classrooms.





*Existing Hot water Pump VFD's*



*Existing Hot Water Pumps*



*Existing Boiler Room Combustion Air  
Intake and ductwork from Central  
Station Air Handling Unit Up*



*Existing Central Station Air Handler  
Outdoor Air Intake Plenum*



*Gas-Fired Boiler No. 1*

The school has a central hot water heating plant located in the lower-level mechanical room. The heating plant consists of three large Smith cast iron boilers that are approximately 2.2 million BTUH each and all appear to be in decent condition. The median service life of typical cast-iron boiler is 30 years. The boilers have dual fuel Power Flame burners that can use either natural gas or diesel oil for combustion but have been converted to natural gas only. We assume that the boilers generate hot water at 180 degrees, the system is designed to have a 20-degree temperature difference at the hot water coils and that the third boiler is operating as stand-by. Hot water is circulated through the building by two (2) hot water base mounted pumps, each pump has a variable speed drive to control flow and pressure based on the heating demand of the building, with a third pump on the supply header of each boiler. It is assumed that the base mounted pumps are configured as primary stand-by arrangement and that each is sized for 100% of the flow and the "third" pump on the boiler supply header acts as a booster pump to accommodate for pressure losses through the boiler itself. The median service life for base mounted pumps is 20 years. There are pressure sensors located out in the piping loops that measure the system pressure and modulate the pump speeds to match the system demand. It was noted during the time of our visit that there are no terminal heating devices, baseboard, fin-tube elements, etc. along the building's exterior walls.





*Gas-Fired Boiler No.1*



*Gas-Fired Boiler No.2*



*Gas-Fired Boiler No.3*

Domestic hot water is produced by one (1) AO Smith electric resistance water heater, that was recently replaced/installed on August 13<sup>th</sup>, 2020. The median service life for this type of heater is 15 years.



*AO Smith Electric Domestic Hot-Water Heater*

Approximately 90-95% of the building currently has air conditioning, with approximately 50% being comprised of in-window/through wall air conditioning units to be replaced. The theater/auditorium was recently provided with a brand-new Carrier RTU, the median service life of this type of equipment is 15 years.





*New Auditorium Carrier RTU*



*Existing through wall AC Unit (typical)*

The library wing has existing older Lennox packaged RTU's, as well as 1-1 split system units (Lennox as well) serving specific rooms within the library area. The median service life of this type of equipment is 15 years. The existing library rooftop equipment appeared to be extremely weather worn and had significant signs of rust.

The mini split systems consist of an indoor evaporator located in the space to be cooled and a condensing unit located on the roof. These systems provide flexible room by room cooling capability. We observed equipment by a few different manufacturers.





*Mitsubishi Mr. Slim Split Systems*



*Lennox Split Systems*

There are exhaust fans scattered throughout the building that serve toilets, MER's, science rooms, storage rooms, kitchens, and other similar spaces. Most are small mushroom style down blast type and are typical for a school application. Most appear to be quite weather worn, and replacement is suggested. The median service life of this type of equipment is 25 years.



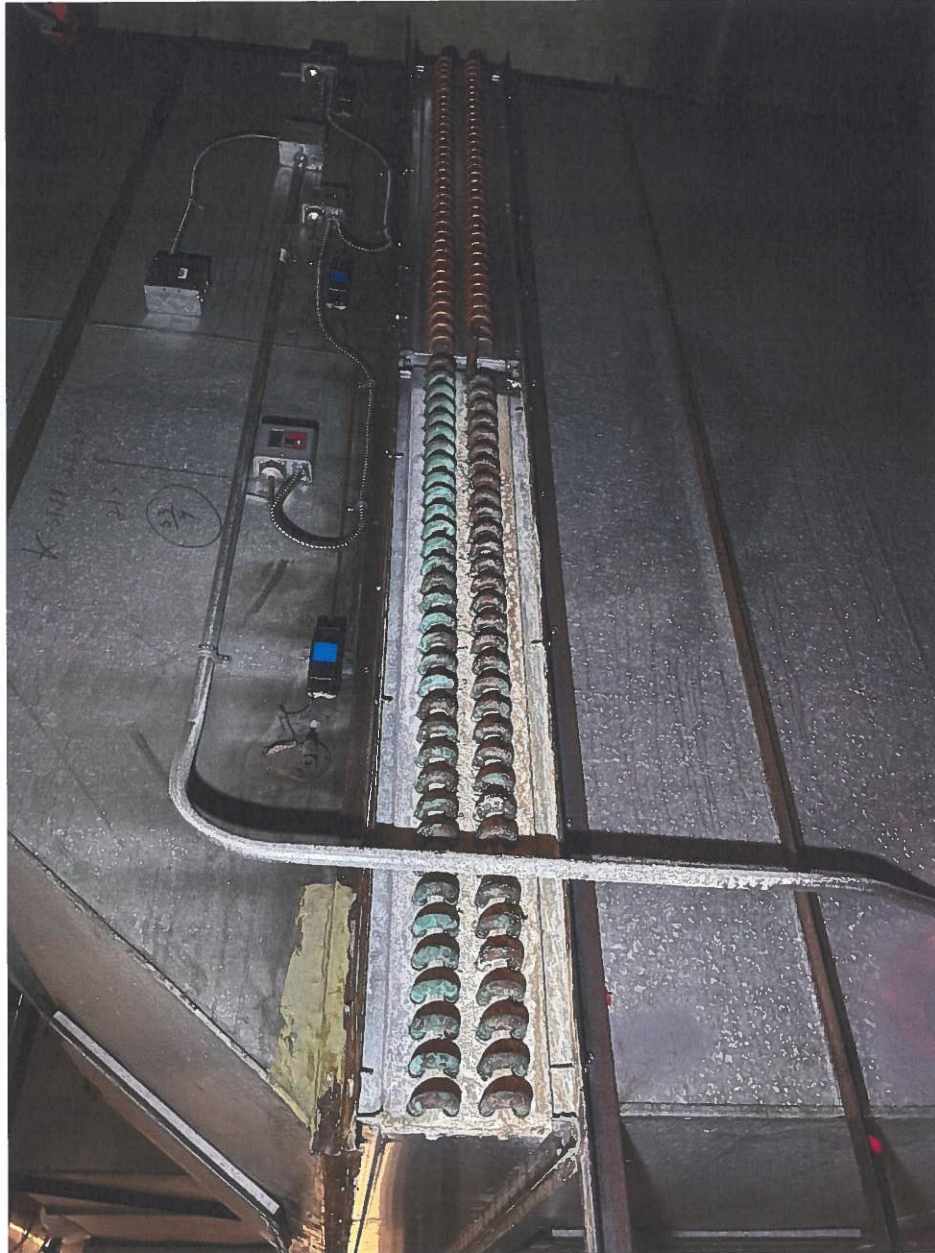
*Typical Mushroom Style Down Blast Fan*



On the lower level of the building are the central station air handling units, which provide a means of ventilation air and heating to all areas of the school. There are a total of four (4) central station air handlers meaning the school is currently broken up into four (4) main heating zones. Each of the air handlers is outfitted with a large hot-water heating coil, with the hot water being supplied by the existing heating hot-water system in place. These air handlers pull fresh air into the system from a large outdoor air plenum that supplies fresh air to all four (4) air handlers. Each air handler then ducts out to individual zone ducts supplying fresh air and heat when called for to each room within the building. Every classroom is outfitted with two registers near the entrance, one for supply and one for return, refer to photos for reference. The existing outdoor air plenums need repair and some of the existing hot-water coils are in need of replacement. While on site it was noted that one coil appeared to be recently replaced. We would also advise for the replacement of the supply fans themselves due to their age and while on site we note “knocking” which is indicative of bearing failures.



*Central Station Air Handler (S-1) and duct mounted smoke detector*



*Duct mounted hot-water heating coil in need of replacement  
directly below recently replace coil section.*





*Individual uninsulated zone ductwork up from central station air handling units*





*Rust downstream of heating coils*



*Typical Air Devices at Classroom Entrances (Supply Low/Return High)  
& Wall mounted Thermostat*

### **Facility Condition Assessment Analysis**

Our facilities condition assessment is based on our field observations during our site visit on December 28<sup>th</sup>, 2021.

Approximately 90% of the school is currently air conditioned. The majority of air conditioning equipment that serves the school installed on the roof or in the façade walls and includes in-wall AC Units, RTU's, exhaust fans and mini-split condensing units. The rooftop equipment viewed during the site visit appeared to be in average to poor condition for their age and many of the units have severe rusting.

The packaged RTU air conditioning strategy is a modular and economical (Auditorium and Library) choice because it allows the building to be easily divided into zones for heating and air conditioning. Typically, schools are divided into zones based on the space programming.

Packaged RTU's are manufactured with the fans and cooling/heating components all in one self-contained enclosure. This type of equipment typically can only provide limited additional capacity for additional outside ventilation air to the spaces they serve. This limited capability is due to the DX cooling component of the equipment. The process of conditioning outdoor air to the proper conditions requires larger DX equipment, some form of reheat and enhanced controls, this added equipment and complexity becomes very costly. One of the RTU's at the school is more custom





and is made specifically to deliver more outdoor ventilation air, this unit being the new Carrier unit serving the theater/auditorium.

The buildings air handling systems all appear to be constant volume types. The constant volume type systems are either on or off. In other words, they cycle to meet the space cooling or heating load based on temperature. The fans typically operate at one speed and the cooling/heating system turns on and off to maintain the space temperature. Constant volume systems do not maintain ventilation air to the spaces while in the off cycle. The central station air handlers also appear to be constant volume systems, that continuously supply fresh pre-heated outdoor air to the spaces.

A few of the rooms are cooled with mini-split systems. These types of air conditioning systems have an indoor evaporator and a rooftop condensing unit. It is typically challenging to control space temperature and relative humidity with mini-split air conditioners in a commercial environment. These types of systems should only be used in application that require supplemental cooling when required.

### **Operational Deficiencies**

Building operational deficiencies is a broad term and is dependent upon many factors. Operational deficiencies may include system equipment deficiencies, repair and routine maintenance concerns, ease of use and controllability of systems to name a few.

Many operational deficiencies were identified for the school, with the main deficiencies being the lack of a BAS system, older RTU's approaching the end of their useful life (Library Units), in-wall AC units serving the majority of the classrooms, an aged central station ventilation and heating system and boilers past their effective lifespan.

The lack of a BAS system prohibits the facility from monitoring the equipment remotely or from providing optimized run times, set points, etc. through BAS tracking. All existing equipment is controlled through outdated stand-alone controllers that are in need of replacement. We would not advise to replace these like in kind and would suggest the installation of a central BAS system to allow for the above noted control capabilities.

Many older rooftop pieces of equipment were observed, mainly the library units which had significant if not complete rust coverage. These units have exceeded their effective lifetime and should be replaced with like and kind. This applies to both the packaged rooftop units serving the library and the mini-split AC;s serving individual rooms within the library.

The central station air handling units that provide a means of heat and ventilation to the school are quite old, as noted by their condition while on site. The existing hot water coils serving the system are rusted and one had been recently replaced. We would advise for all the hot-water coils be replaced with like and kind. The coil install also does not allow for easy maintenance of the coils for cleaning, etc.

The boiler serving the school while in decent condition on the outside are past their ASHRAE suggested equipment life span of 30 years. The boilers should be replaced with like and kind,



however, it is suggested that the piping arrangement be re-done within the boiler room, to eliminate the need for the (3) three hot-water booster pumps on each boilers supply header.

The largest operational deficiency noted on site was that a majority, if not, all of the existing classrooms are cooled by a means of an in-wall AC unit. This is an inefficient way of cooling the space they serve and does not provide a means to control the ventilation are being provided. These style units do not allow for spill air to be transferred to the outdoors and can lead to space over pressurization. Lastly, these units are controlled via on/off manual control knobs which requires the user/teacher to turn on the units when the space gets hot and tend to have a maximum of three settings. This will cause the space to either be under-cooled or over-cooled due to the factory set setpoints not matching the true demand cooling.





## **Electrical**

The purpose of this site visit was to perform on-site observations, meet with knowledgeable school staff and to understand the current operation and maintenance of the entire school facility. The existing electrical rooms are located on First Floor and Ground Floor to provide each floor with power from the main switchgear on the first floor. Each electrical room or closet room with panelboards generally consists of 208Y/120V MLO main lug only or MCB main circuit breakers, on different sizes and manufacturers, some new panels, some close to 10 years old and some older than 40 years. There were also a few very old GE small panelboards in the corridors scattered throughout the building. The following observations may include items of work, or additional items, that are noted as not meeting the intent of this document. If no response is received, it shall be deemed that all parties receiving this report agree with the content of document.

The field investigation started from the north side of the school, designed in the 'T' Shape, at first floor, Technology Room and Woodshop room. First, I noticed that all lighting fixtures are fluorescent, no LED. First panelboard was marked 'Wood Shop Panel', 208Y/120V, GE 36ckts, no label for other information, very old panel, needs to be replaced. The outside door has Pull Station and a label 'Fire exit room', but not a horn/strobe or illuminate Exit Sign, the room has Smart Board, LCD Projector and Aruba wireless access points.

Adjacent to woodshop room is the finishing room. The entire room has all incandescent lighting fixtures.

The next room was the musical room with inside IT closet. The IT rack was fully equipped with new devices.

The next panelboard 'Panel IT-1' is a GE, 208Y/120V, 36 circuit breakers, very old, inappropriate labels and in bad condition. Additional outlets should be added to these rooms to avoid the use of surge strips and extension cords.

Next to my investigation was the Fire Alarm Control Panel. The model: MS-9600UDLS. Addressable FACP, Fire-Lite Alarms by Honeywell. Next panel 'Emergency Panel 1-D' it was new renovated, Eaton, with 12 circuit breakers for IT closet server for 20AMPS.

Stage Panel 'CMSP', 208Y/120V, Siemens 42 ckts, 250 Amps MCB, 3Ph, 4W, recently renovated and an old panelboard marked 'Stage Panel', GE, 208Y/120V, 3Ph, 4W, 200Amps, MLO, nearing the end of its useful life so needs to be replaced.

In the kitchen area there are two very old panels. Both are not CT Building Code compliant. See photos.

All emergency panels are in very poor condition and at the end of their useful life. See photos. We inspected observable conditions on all first-floor rooms without the advent of destructive inspection. Panelboard "LP-1C", GE, 30 CKTS is very old, and it was difficult to identify the amperage. I found out that Simplex Building Communication System was inoperative and appears to have been abandoned in-place.



There are branch circuit panels, low voltage 208Y/120V panels, serving classrooms, corridors, closets etc. for lighting and power. These appear functional but are old and not CT Building Code compliant.

It was observed that some electrical equipment is nearing the end of its useful life and while beyond the scope of this study, we recommend beginning a plan for a phased replacement, depending on the power requirements for the new mechanical equipment and overall other electrical devices. Some electrical devices and exterior lighting fixtures have been replaced few years back. The entire school wall speakers are very old, some of them are no longer functioning, need to replace all A/V system as well as Clock Systems as, the old one has been removed few years back.

We visited (2) IT rooms, the Storage and Data closet the and 3<sup>rd</sup> room not labeled. Facilities personnel advised that both have been updated. Adjacent to the Data closet room and Room 226 is a Phone panelboard, in use.

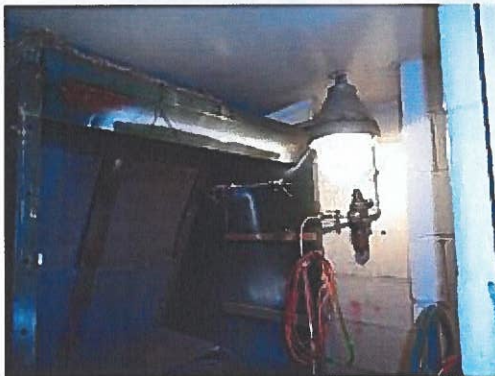
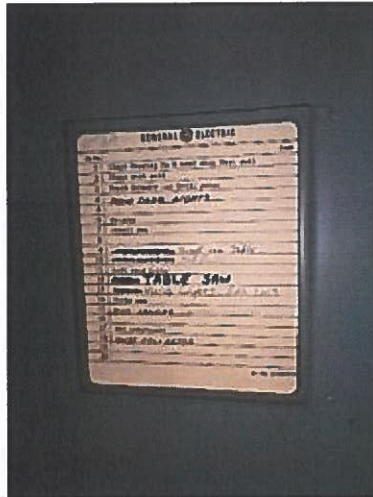
We observed that a significant number of small electrical devices are broken and unsafe. Examples are wall occupancy sensors, motion sensor switches, outlets without covers, etc. throughout the facility.

Panelboard MLO 208Y/120V, 225AMPS, 42 ckts, 3PH, 4W located in science room 117, and the MDP panel in the electrical room, on the first floor, throughout the ground floor level entry stairs, 208Y/120V, 2,000 AMPS, 3PH, 4W, Cutler -Hammer Model: Pow-R-Line 'C'- are in serviceable condition. Sub-panel SMDP 208Y/120V, 800AMPS 3PH, 4W, in good condition and old SDP-1 an ALT SMDP.

Kohler, Standby Generator Model "15RYG", (13.0-15.0) KW, (13.0-18.8) KVA, Voltage 120/208, 45 AMPS, functioning in good condition.

**Field Photos:**





*Finishing Room*



*IT Room*





*IT Rack*



*FACP, Fire-Lite Alarm*



*FACP*



*Stage Panel*



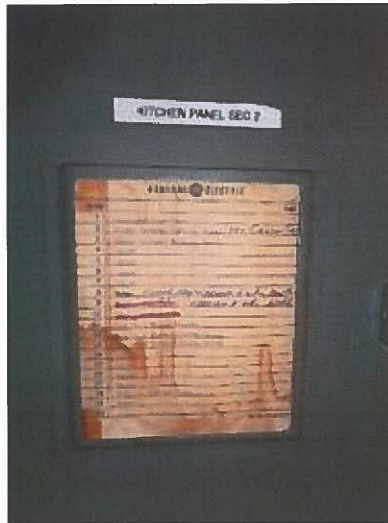


*Kitchen panels*



*Kitchen panels SEC 1*





*Kitchen panels SEC 2*



*Emergency panel*



*Emergency panel*

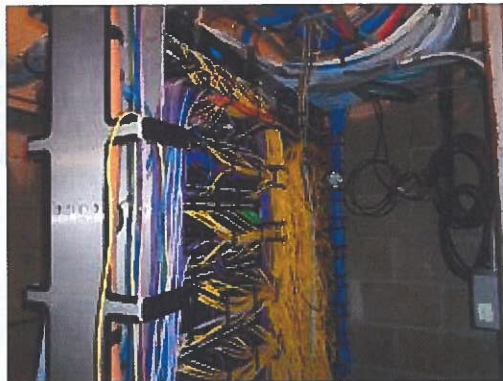


*Siemens Communication System*





*LP-1C Panel*



*Second IT room, Main Office area.*



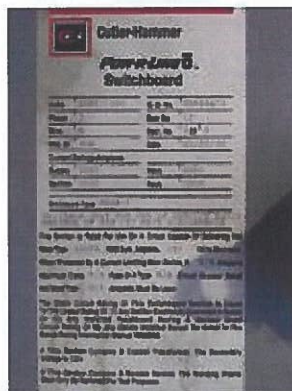
*Third IT rack in Data Closet*



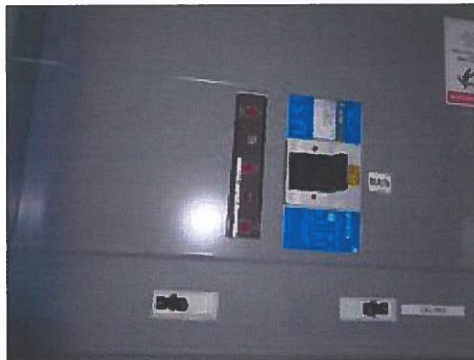
*Motion Sensor Switch*



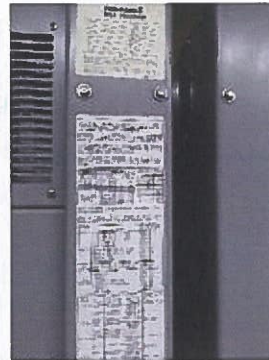
*Science Room 117*



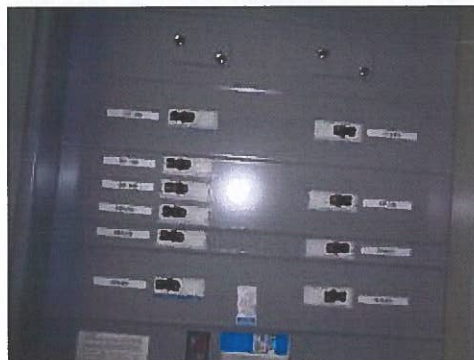
*Main Distribution Panel*



*Main Distribution Panel*



*SMDP sub-panel*



*Main Distribution Panel*



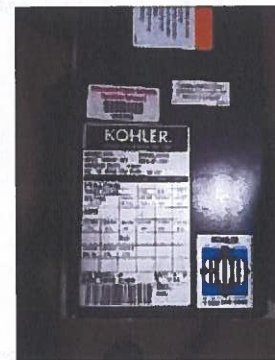
*School Revenue Meter*



*ATS - Automatic Transfer Switch*



*EM Generator*



*EM Generator*



## **Plumbing**

We visited the facility on Tuesday, December 28, 2021, over the course of (1) day to survey and assess plumbing conditions. We interviewed facilities staff, inspected physical and operating conditions, and did not perform destructive testing. It should be noted that facilities personnel were not able to answer most of our questions about domestic and sanitary waste systems such leaks, blockages, etc.

The original building was constructed in 1958 which is where we concentrated our investigations. We sample inspected and tested faucets, toilets and urinals and the systems appear to be functioning. None are CT Building Code compliant.

Generally, the age of network places the condition of pipes, manifolds, valves, regulators, fittings, and other plumbing devices beyond their service life. The original design and as-built conditions do not conform to current CT Building Code. We did not perform destructive inspection and testing methods and did not test the quality of water. We were unable to observe the condition of buried and hidden pipes and assume that domestic service and sanitary waste lines, particularly buried beneath the slabs on grade, are beyond their service and cannot be repaired in-place. We did not find records of past service and repair, and facilities personnel familiar with the plumbing network were not present at the time of the inspection.

We observed extensive ponding. Some of this is due to the age of the roof and imperfections in sloped insulation. However, we also observed a significant number of problematic roof drain penetrations and blockages due to leaves, tennis balls, kick balls, and other wind driven debris.